

Clark (973) 454-6509  
Sandy Tulley BLOCK 865 LOT 6.92

QUALIFICATION CODE

ADDRESS (SITE) 177 Grove Avenue, Verona, NJ

PERMIT NO. 2001-225



# CONSTRUCTION PERMIT APPLICATION

Applicant Completes: Sections I, II, III (optional), IV, VI, and VII

**I. IDENTIFICATION**

1. Proposed Work Site at: 177 Grove Avenue, Verona, NJ 07044

2. Name of Owner in Fee: TULY REALTY, LLC  
 Tel. (973) 535-9000 e-mail TULYREALTY@COMCAST.NET  
 Address 716 EXETER PARKWAY, LIVINGSTON, NJ 07033

3. Ownership In Fee: Public \_\_\_\_\_ Private X

4. Principal Contractor: TULY REALTY, LLC Tel. (973) 535-9000  
 Address 26 BLANKENBACH PARKWAY, VERONA, NJ 07093 e-mail \_\_\_\_\_  
 License No. OR, if new home: Builder Reg. No. 034836/334028 Exp. Date 04/01/07  
 Home Improvement Contractor Registration No. or Exemption Reason (if applicable): \_\_\_\_\_  
 Federal Emp. ID No. 32-319342 FAX: (973) 535-9005

5. Architect or Engineer: WELSH RECHTSCAS Contact: YVONNE WELSH  
 Address 602 SPANISH HILL, MOUNTAIN TOP, NJ 07093 e-mail WELSHYVONNE@AOL.COM  
 Tel. (908) 654-7900 FAX: (908) 654-7112

6. Responsible Person in Charge once Work has Begun: SAM TULY  
 Tel. (973) 535-9000 FAX: (973) 535-9005

**V. FEE SUMMARY (for office use only)**

		Update	Update
1. Building	\$ 1799		
2. Electrical	100		
3. Plumbing	240	100	
4. Fire Protection	50		
5. Elevator Devices			
6. Sublotal			
7. Less 20% for State Plan Review			
8. Sublotal			
9. State Permit Surcharge Fee	119		
10. Sublotal			
11. Cert. of Occupancy	180		
12. Other			
13. TOTAL	\$ 2690	100	

**VI. BUILDING/SITE CHARACTERISTICS** (office use only)

1. Number of Stories	2	
2. Height of Structure	20	R.
3. Area - Largest Floor	1633	sq. ft.
4. New Building Area	1633	sq. ft.
5. Volume of New Structure	2676	cu. ft.
6. Construction Classification	V-B	
7. Total Land Area Disturbed	2300	sq. ft.
8. Flood Hazard Zone		R.
9. Base Flood Elevation		
10. Wetlands	yes _____ no <u>X</u>	
11. Max. Live Load		
12. Max. Occupancy Load		

**OPTIONAL (for office use only)**

I. PROPOSED WORK	Est. Cost	Plans Rec'd by	Date Rec'd	Rejection (for office use only)			Resubmission Dates		Re-viewer
				Rejection Date	Approval Date	Re-viewer	Approval	Rejection	
1. <input type="checkbox"/> Minor Work									
2. <input checked="" type="checkbox"/> New Building	17000								
3. <input type="checkbox"/> Addition									
4. <input type="checkbox"/> a. Repair									
<input type="checkbox"/> b. Alteration									
<input type="checkbox"/> c. Renovation									
<input type="checkbox"/> d. Reconstruction									
5. <input checked="" type="checkbox"/> Fire Protection	1000				12/20/06	AP			
6. <input checked="" type="checkbox"/> Plumbing	19000				12/21/06	REP			
7. <input checked="" type="checkbox"/> Electrical	72000								
8. <input type="checkbox"/> Elevator Devices									
9. <input checked="" type="checkbox"/> Asbestos/Asbestos Subch. II									
10. <input type="checkbox"/> Lead Hazard Abatement									
11. <input type="checkbox"/> Demolition									
TOTAL COSTS	178000								

**VII. DESCRIPTION OF BUILDING USE**

**A. RESIDENTIAL**

- State Specific Use:
- Use Group:
- Change in Use Group, Indicate Former:
- No. of dwelling units: All Units, restricted  
 Before Construction: 1  
 After Construction: 1  
 Net Gain or Loss: 0

**B. NON-RESIDENTIAL**

- State Specific Use:
- Use Group:
- Change in Use Group, Indicate Former:

**III. DO YOU WANT: (optional)**

- Partial Releases
- Prototype Processing

**IV. DOES OR WILL YOUR BUILDING CONTAIN ANY OF THE FOLLOWING?**

1. <input type="checkbox"/> Elevators/Escalators/Lifts/Dumbwaiters/Moving Walks	4. <input type="checkbox"/> Refrigeration Systems
2. <input type="checkbox"/> High Pressure Boilers	5. <input type="checkbox"/> Cross-Connections/Backflow Preventers
3. <input type="checkbox"/> Pressure Vessels	6. <input type="checkbox"/> Hazardous Uses/Places of Assembly
	7. <input type="checkbox"/> Sprinklers

8. <input type="checkbox"/> Smoke Control Systems In Open Wells
9. <input type="checkbox"/> Underground Storage Tanks
10. <input type="checkbox"/> Swimming Pools, Spas and Hot Tubs

OFFICE DATE RECEIVED:

VII. PRIOR APPROVALS CHECKLIST (office use only)	LOCAL APPROVAL		COUNTY APPROVAL		REGIONAL APPROVAL		STATE APPROVAL		COMMENTS
	Prelimin. Initial	Final Date	Prelimin. Initial	Final Date	Prelimin. Initial	Final Date	Prelimin. Initial	Final Date	
<input type="checkbox"/> Zoning Officer									
<input type="checkbox"/> Planning Board									
<input type="checkbox"/> Zoning Board									
<input type="checkbox"/> Sewer Authority									
<input type="checkbox"/> Water Authority									
<input type="checkbox"/> Police Department									
<input type="checkbox"/> Health Department									
<input type="checkbox"/> Soil Conservation									
<input type="checkbox"/> N.J. Department of Community Affairs									
<input type="checkbox"/> N.J. Department of Transportation									
<input type="checkbox"/> N.J. Department of Environmental Protection									
<input type="checkbox"/> Utility Dig No.									
<input type="checkbox"/>									
<input type="checkbox"/>									

IX. SUBCODES AND SPECIAL REGULATIONS APPLICABLE (office use only—optional)

Name of Code & Edition	Name of Code & Edition	Other
Building _____	Energy _____	
Electrical _____	Barrier Free _____	
Plumbing _____	Flood Hazard _____	
Fire Protection _____	As Built Elevation Cert. _____	
Mechanical _____	Other _____	

X. CERTIFICATES ISSUED (office use only)

	DATE ISSUED	DATE EXPIRED	DATE REISSUED	DATE EXPIRED
<input type="checkbox"/> Temporary Certificate of Occupancy	No. _____	_____	_____	_____
<input type="checkbox"/> Temporary Certificate of Compliance	No. _____	_____	_____	_____
<input type="checkbox"/> Continued Certificate of Occupancy	No. _____	_____	_____	_____
<input type="checkbox"/> Certificate of Compliance	No. _____	_____	_____	_____
<input type="checkbox"/> Certificate of Occupancy	No. _____	_____	_____	_____
<input type="checkbox"/> Certificate of Approval	No. _____	_____	_____	_____
<input type="checkbox"/> Lead Abatement Clearance Certificate	No. _____	_____	_____	_____

U.C.C. F100-3 (rev. 3/96)

Reorder From OCS Printing (608) 398-4375

CERTIFICATION IN LIEU OF OATH

I, OWNER SECTION (to be completed if the applicant is the owner in fee) hereby certify that I am the owner in fee of the property listed on Page 1.

Mark the following applicable boxes:

A. ( ) I further certify that a new home (private residence) will be constructed on this property for my own use and occupancy. This dwelling is to be occupied by myself and is not to be used for any purpose other than single family residential use. I attest that all construction, plumbing, or electrical work will be done, in whole or in part, by me or by subcontractors under my supervision, in accordance with all applicable laws, and, I further acknowledge that said new home is not covered under the New Home Warranty and Builders Registration Act (N.J.S.A. 46:3B-1 et seq.) and that such fact shall be disclosed to any person purchasing this property within ten years of the date of issuance of a certificate of occupancy.

I UNDERSTAND THAT IN MARKING BOX A, I ACKNOWLEDGE THAT I AM ASSUMING RESPONSIBILITY FOR THE WORK DONE ON SAID PROPERTY, THE CONDITION OF THE PROPERTY PRIOR TO, DURING, AND AFTER ANY WORK PERFORMED, AND FOR THE PERFORMANCE OF THE SUBCONTRACTORS I HIRE, EMPLOY, OR OTHERWISE CONTRACT OR WITH WHOM I MAKE AGREEMENTS TO PERFORM WORK. I AM VOLUNTARILY AND KNOWINGLY ASSUMING THIS RESPONSIBILITY.

B. ( ) I further certify the following as required by the New Jersey Uniform Construction Code, N.J.A.C. 5:23-2.15(e)1, 2, 3: I personally prepared the plans submitted for: 1) the new home referred to in A; or, 2) an addition, alteration, renovation, or repair to an existing single family residence owned and occupied by myself and located on the property listed on Page 1; or, 3) a new structure that will be physically separate from, but that will be deemed part of, an existing single family residence that is owned and occupied by myself and located on the property listed on Page 1.

C. ( ) I further certify that I will perform or supervise the following work:  
 C-1. ( ) Building  
 C-2. ( ) Fire Protection  
 I further certify that I will perform the following work:  
 C-3. ( ) Plumbing  
 C-4. ( ) Electrical

D. ( ) I agree to advise all contractors on this project that they are required to be registered with the New Jersey Division of Taxation and to comply with all New Jersey tax laws.

I further certify the following as required by the Uniform Construction Code, N.J.A.C. 5:23-2.15(e)5: All required State, county, and local prior approvals have been given, including such certification as the construction official may require.

I understand that if any of the above statements are willfully false, I am subject to punishment.

Signature \_\_\_\_\_ Date \_\_\_\_\_

II. AGENT SECTION (to be completed if the applicant is not the owner in fee)  
 I hereby certify the following as required by the Uniform Construction Code, N.J.A.C. 5:23-2.15(d): the proposed work is authorized by the owner in fee, and I have been authorized by the owner in fee to make this application as his agent.

I further certify the following as required by the Uniform Construction Code, N.J.A.C. 5:23-2.15(e)5: All required State, county, and local prior approvals have been given, including such certification as the construction official may require.

I agree to advise all contractors on this project that they are required to be registered with the New Jersey Division of Taxation and to comply with all New Jersey tax laws.

I understand that if any of the above statements are willfully false, I am subject to punishment.

( ) Check if contractor.

Agent Name BY SAN JUAN FOR TULL PARTY, LLC

Address 316 BROADWAY, LIVINGSTON, NJ 07039

Telephone (973) 535-9000

Signature [Signature]

III. ( ) LEAD HAZARD ABATEMENT: include Homeowner or Building Owner Affidavit as per N.J.A.C. 5:17.

U.C.C. F100-3 (rev. 10/96)



# FIRE PROTECTION SUBCODE TECHNICAL SECTION



A. IDENTIFICATION-APPLICANT: COMPLETE ALL APPLICABLE INFORMATION. WHEN CHANGING CONTRACTORS, NOTIFY THIS OFFICE. CALL UTILITY DIG NO: 1-800-272-1000.

Block 53 Lot 603 Qualification Code 3734  
Work Site Location 3734 603 Avenue 27th Street, Newark, NJ 07102

Owner in Fee: Chilelectric LLC  
Tel. ( 973 ) 321-9000 e-mail info@chilelectric.com

Address 27th Street, Newark, NJ 07102

Contractor: Chilelectric LLC  
Address 27th Street, Newark, NJ 07102

Fire Protection Equipment, NJ Div of Fire Safety Permit No. 732-544-0286  
Fire Protection Equipment, NJ Div of Fire Safety Installer No. 13442

Fire Alarm Contractor No. 3351222  
Federal Emp. No. 3351222 FAX: (973) 331-9000

## B. FIRE PROTECTION CHARACTERISTICS

Use Group: Present \_\_\_\_\_ Proposed \_\_\_\_\_ Fire Alarm System:  New or  Existing  
Constr. Class: Present \_\_\_\_\_ Proposed \_\_\_\_\_ Location of Panel: \_\_\_\_\_  
Heating System:  New or  Existing  HVAC Fire Suppressor/Standpipe System:  
Type:  Gas  Oil  Electric  Solar  New or  Existing  
 Other \_\_\_\_\_ Location of Main Control Valve: \_\_\_\_\_  
Location: \_\_\_\_\_

Fuel Storage Tank:  
Fuel Type:  Flammable or  Combustible Capacity \_\_\_\_\_  
Total Cost of Fire Protection Work \$ 1000.00

JOB SUMMARY (Office Use Only)		INSPECTIONS		Dates (Month/Day)	
PLAN REVIEW	Type:	Failure	Approval	Initial	
<input type="checkbox"/> No Plans Required	Alarm System		<u>3/10/08</u>	<u>MR</u>	
Joint Plan Review Required:	Suppression Sys.				
<input type="checkbox"/> Building <input type="checkbox"/> Plumbing	Standpipe				
<input type="checkbox"/> Electric <input type="checkbox"/> Elevator	Fire Pump				
<input checked="" type="checkbox"/> Fire Plans Approved	Pre-Eng. System				
Date: <u>3/10/08</u>	Mechanical				
Approved by: <u>MR</u>	Smoke Control				
SUBCODE APPROVAL	TCO				
<input type="checkbox"/> CO <input type="checkbox"/> CCO <input checked="" type="checkbox"/> CA	Flam/Combust Tanks				
Date: <u>3/10/08</u>	Fireplace Venting				
Approved by: <u>MR</u>	Other				<u>3/10/08 MR</u>

1 White = Inspector Copy  
3 Pink = Office Copy  
U.C.C. F140 (rev. 5/05)  
Recorder From: OCS Printing (609) 398-4375

Date Received Control # \_\_\_\_\_  
Date Issued Permit # \_\_\_\_\_  
I hereby certify that I am the agent, owner, or authorized representative of the owner of record and am authorized to make this application.  
Applicant's Signature/Contractor's Signature \_\_\_\_\_  
 Certified Contractor  Exempt Applicant

D. TECHNICAL SITE DATA  
DESCRIPTION OF WORK:  
SAFETY DATA FOR 35000/1500000 3734 07102

Water Supply Source	Method of Alarm/Suppression System Supervision	NUMBER	FEE (Office Use Only)
Flammable/Combustible Tanks			
Alarm Systems			
<input type="checkbox"/> System			
<input checked="" type="checkbox"/> 110v Interconnected			
<input checked="" type="checkbox"/> CO Detectors/110v			
Alarm Devices (i.e., smoke, heat, pulls, water/flow)			
Supervisory Devices (i.e., tamper, low/high air)			
Signaling Devices (i.e., horn/strobes, bells)			
Other Devices			
TOTAL			
Suppression Systems			
Fire Pump _____ GPM Type _____			
Dry Pipe/Alarm Valves			
Pre-action Valves			
Sprinkler Heads (Dry and Wet)			
Standpipes			
Pre-engineered Systems			
Wet Chemical			
Dry Chemical			
CO <sub>2</sub> Suppression			
Foam Suppression			
FM200 Suppression			
Other			
Other Systems			
Kitchen Hood Exhaust System			
Smoke Control System			
Fired Appliances <input checked="" type="checkbox"/> Gas or <input type="checkbox"/> Oil			
Fireplace Venting/Metal Chimney			
Other			

Administrative Surcharge \$ \_\_\_\_\_  
Minimum Fee \$ \_\_\_\_\_  
State Permit Surcharge Fee \$ \_\_\_\_\_  
TOTAL FEE \$ 50

2 Canopy = Office Copy  
4 Gold = Applicant Copy



# CERTIFICATE

Date Issued 7/25/08  
Control #  
Permit # 2007-225

### IDENTIFICATION

Block 65 Lot 6.02  
 Work Site Location \_\_\_\_\_  
 Owner in Fee/Occupant 177 Grove Avenue  
Tuli Realty LLC  
 Address 316 Eisenhower Parkway  
Livingston, N.J. 07039  
 Tele. ( ) \_\_\_\_\_  
 Contractor Tuli Realty LLC  
 Address \_\_\_\_\_  
 Tele. ( ) \_\_\_\_\_ Fax ( ) \_\_\_\_\_  
 Lic. No. or Bids. Reg. No. \_\_\_\_\_  
 Federal Emp. No. \_\_\_\_\_

Home Warranty No. \_\_\_\_\_  
 Type of Warranty Plan: [ ] State [ ] Private  
 Use Group \_\_\_\_\_  
 Maximum Live Load \_\_\_\_\_  
 Construction Classification \_\_\_\_\_  
 Maximum Occupancy Load \_\_\_\_\_  
 Description of Work/Use: \_\_\_\_\_

Single Family home

### CERTIFICATE OF OCCUPANCY

This serves notice that said building or structure has been constructed in accordance with the New Jersey Uniform Construction Code and is approved for occupancy.

### CERTIFICATE OF APPROVAL

This serves notice that the work completed has been constructed or installed in accordance with the New Jersey Uniform Construction Code and is approved, if the permit was issued for minor work, this certificate was based upon what was visible at the time of inspection.

### TEMPORARY CERTIFICATE OF OCCUPANCY/COMPLIANCE

If this is a temporary Certificate of Occupancy or Compliance, the following conditions must be met no later than \_\_\_\_\_, 19\_\_\_\_, or the owner will be subject to fine or order to vacate:

### CERTIFICATE OF CLEARANCE — LEAD ABATEMENT 5:17

This serves notice that based on written certification, lead abatement was performed as per NJAC 5:17, to the following extent:

- Total removal of lead-based paint hazards in scope of work
- Partial or limited time period ( \_\_\_\_\_ years); see file

### CERTIFICATE OF CONTINUED OCCUPANCY

This serves notice that based on a general inspection of the visible parts of the building there are no imminent hazards and the building is approved for continued occupancy.

### CERTIFICATE OF COMPLIANCE

This serves notice that said potentially hazardous equipment has been installed and/or maintained in accordance with the New Jersey Uniform Construction Code and is approved for use until \_\_\_\_\_

Fee \$ 180.

Paid  Check No.

Collected by: T. Jacobsen

*Thomas H. Jacobsen*  
 CONSTRUCTION OFFICIAL



# CERTIFICATE

Date Issued 7/25/08  
Control #  
Permit # 2007-225

### IDENTIFICATION

Block 65 Lot 6-02  
 Work Site Location \_\_\_\_\_  
 Owner in Fee/Occupant 177 Grove Avenue  
Juli Realty LLC  
 Address 316 Eisenhower Parkway  
Livingston, N.J. 07039  
 Tele. (\_\_\_\_) \_\_\_\_\_  
 Contractor Juli Realty LLC  
 Address \_\_\_\_\_  
 Tele. (\_\_\_\_) \_\_\_\_\_ Fax (\_\_\_\_) \_\_\_\_\_  
 Lic. No. or Bids. Reg. No. \_\_\_\_\_  
 Federal Emp. No. \_\_\_\_\_

Home Warranty No. \_\_\_\_\_  
 Type of Warranty Plan: [ ] State [ ] Private  
 Use Group \_\_\_\_\_  
 Maximum Live Load \_\_\_\_\_  
 Construction Classification \_\_\_\_\_  
 Maximum Occupancy Load \_\_\_\_\_  
 Description of Work/Use: \_\_\_\_\_

Single Family home

### CERTIFICATE OF OCCUPANCY

This serves notice that said building or structure has been constructed in accordance with the New Jersey Uniform Construction Code and is approved for occupancy.

### CERTIFICATE OF APPROVAL

This serves notice that the work completed has been constructed or installed in accordance with the New Jersey Uniform Construction Code and is approved. If the permit was issued for minor work, this certificate was based upon what was visible at the time of inspection.

### TEMPORARY CERTIFICATE OF OCCUPANCY/COMPLIANCE

If this is a temporary Certificate of Occupancy or Compliance, the following conditions must be met no later than \_\_\_\_\_, 19\_\_\_\_ or the owner will be subject to fine or order to vacate: \_\_\_\_\_

### CERTIFICATE OF CLEARANCE — LEAD ABATEMENT 5:17

This serves notice that based on written certification, lead abatement was performed as per NJAC 5:17, to the following extent:

- Total removal of lead-based paint hazards in scope of work
- Partial or limited time period (\_\_\_\_ years); see file

### CERTIFICATE OF CONTINUED OCCUPANCY

This serves notice that based on a general inspection of the visible parts of the building there are no imminent hazards and the building is approved for continued occupancy.

### CERTIFICATE OF COMPLIANCE

This serves notice that said potentially hazardous equipment has been installed and/or maintained in accordance with the New Jersey Uniform Construction Code and is approved for use until \_\_\_\_\_

Fee \$ 180.

Paid  Check No. \_\_\_\_\_

Collected by: T. Jacobsen

*Thomas O. Jacobsen*  
 CONSTRUCTION OFFICIAL



**BUILDING SUBCODE  
TECHNICAL SECTION**



A. IDENTIFICATION-APPLICANT: COMPLETE ALL APPLICABLE INFORMATION. WHEN CHANGING CONTRACTORS, NOTIFY THIS OFFICE. CALL UTILITY DIG NO: 1-800-272-1000.

Block 65 Lot 6.02 Qualification Code \_\_\_\_\_  
Work Site Location 177 Grove Ave, Lebanon, NJ 07044

Owner in Fee: TUY REPTV, LLC  
Tel. ( 973 ) 535-9000 e-mail TUYREPTV@COMCAST.NET  
Address 316 Eastman Parkway Livingston, NJ 07039  
Contractor: TUY REPTV, LLC Tel. ( 973 ) 535-9000  
Address 316 Eastman Parkway, Livingston, NJ e-mail TUYREPTV@COMCAST.NET  
Contractor License No. or Builder Registration No. 034926/1304026800 Exp. Date 12/31/07/12/31/07  
Federal Employee No. 22-3517342 FAX: ( 973 ) 535-9005

**JOB SUMMARY (Office Use Only)**

PLAN REVIEW	Date	Initial	INSPECTIONS	Dates (Month/Day)	Approval	Initial
<input type="checkbox"/> No Plans Required			Type:	Failure		
<input type="checkbox"/> All			Footing		<u>5/14/07</u>	<u>[Signature]</u>
<input type="checkbox"/> Footing			Footing Bonding		<u>5/14/07</u>	<u>[Signature]</u>
<input type="checkbox"/> Foundation			Foundation		<u>5/14/07</u>	<u>[Signature]</u>
<input type="checkbox"/> Frame			Slab		<u>5/14/07</u>	<u>[Signature]</u>
<input type="checkbox"/> Other			Frame		<u>5/14/07</u>	<u>[Signature]</u>
			Truss Sys./Bracing		<u>5/14/07</u>	<u>[Signature]</u>
Joint Plan Review Required:			Barrier-Free		<u>5/14/07</u>	<u>[Signature]</u>
<input type="checkbox"/> Elec. <input type="checkbox"/> Plumb. <input type="checkbox"/> Fire <input type="checkbox"/> Elevator			Insulation		<u>5/14/07</u>	<u>[Signature]</u>
			Finishes -Base Layer		<u>5/14/07</u>	<u>[Signature]</u>
SUBCODE APPROVAL			Finishes -Final		<u>5/14/07</u>	<u>[Signature]</u>
<u>NA-CO</u> <input type="checkbox"/> CCO <input type="checkbox"/> CA			Energy		<u>5/14/07</u>	<u>[Signature]</u>
Date: <u>5-10-08</u>			Mechanical		<u>5/14/07</u>	<u>[Signature]</u>
Approved by: <u>[Signature]</u>			TCO		<u>5/14/07</u>	<u>[Signature]</u>
			Other		<u>5/14/07</u>	<u>[Signature]</u>
			Final		<u>5/14/07</u>	<u>[Signature]</u>
			Barrier-Free		<u>5/14/07</u>	<u>[Signature]</u>

**B. BUILDING CHARACTERISTICS**

Use Group	Present	Proposed	Est. Cost of Bldg. Work:
Constr. Class	Present	Proposed	1. New Bldg. \$ <u>150,000</u>
No. of Stories	<u>2</u>		2. Rehabilitation \$ _____
Height of Structure	<u>30</u> Ft.		3. Total (1+2) \$ <u>150,000</u>
Area - Largest Floor	<u>1633</u> Sq. Ft.		
New Bldg. Area/All Floors	<u>3032</u> Sq. Ft.		
Volume of New Structure	<u>2696</u> Cu. Ft.		
Total Land Area Disturbed	<u>2300</u> Sq. Ft.		

Date Received 4/4/07  
Control # \_\_\_\_\_  
Date Issued \_\_\_\_\_  
Permit # 2009-225

C. CERTIFICATION IN LIEU OF OATH  
I hereby certify that I am the (agent of) owner of record and am authorized to make this application.  
Signature \_\_\_\_\_

D. TECHNICAL SITE DATA  
DESCRIPTION OF WORK  
Developer New Single Family Dwelling AS per plans

TYPE OF WORK:

- New Building
- Addition
- Rehabilitation
- Roofing
- Siding
- Fence \_\_\_\_\_ Height (exceeds 6')
- Sign \_\_\_\_\_ Sq. Ft.
- Pool
- Asbestos Abatement Subchapter 8
- Lead Haz. Abatement NJAC 5:17
- Other \_\_\_\_\_
- Demolition

FEE (Office Use Only)  
\$ 7799

Administrative Surcharge \$ \_\_\_\_\_  
Minimum Fee \$ \_\_\_\_\_  
State Permit Surcharge Fee \$ \_\_\_\_\_  
TOTAL FEE \$ 7799

1 White = Inspector Copy  
2 Canary = Office Copy  
3 Pink = Applicant Copy  
4 Gold = Applicant Copy  
U.C.C. F110 (rev. 05/05)  
Reorder from OCS Printing (609) 398-4375

3/13/08 - FINAL FAILED

1. CAULK ALL PENETRATIONS ON EXTERIOR,
2. GRASPLABLE HANDRAIL - REAR STEPS
3. STACKLE HOLES IN GARAGE CEILING
4. CLEAN ATTIC FLOOR
5. SECURE COIL OF WIRE IN BASEMENT
6. FINAL APPROVAL - DRAINAGE - JIM MELB

3/20/08 (2) not done (also garage HR):



**BUILDING SUBCODE  
TECHNICAL SECTION**



**A. IDENTIFICATION-APPLICANT: COMPLETE ALL APPLICABLE INFORMATION. WHEN CHANGING CONTRACTORS, NOTIFY THIS OFFICE. CALL UTILITY DIG NO: 1-800-272-1000.**

Block 65 Lot 6.02 Qualification Code 07044  
Work Site Location 177 Grove Avenue, Ulenora, NJ 07044

Owner in Fee: TULY ENTERTAINMENT LLC  
Tel. ( 973 ) 535-9000 e-mail TULYENTERT@COMCAST.NET

Address 316 Eisenhower Parkway Livingston NJ 07039  
municipality zip code

Contractor: TULY PROPERTY, LLC Tel. ( 973 ) 535-9000  
Address 316 Eisenhower Parkway Livingston, NJ e-mail TULYENTERT@COMCAST.NET

Contractor License No. or Builder Registration No. 034926/1304216800 Exp. Date 12/31/07  
Federal Employee No. 32-3517348 FAX: ( 973 ) 535-9005

JOB SUMMARY (Office Use Only)			
PLAN REVIEW	Date	Initial	Initial
<input type="checkbox"/> No Plans Required			
<input type="checkbox"/> All			
<input type="checkbox"/> Footing			
<input type="checkbox"/> Foundation			
<input type="checkbox"/> Frame			
<input type="checkbox"/> Other			
Joint Plan Review Required:			
<input type="checkbox"/> Elec.	<input type="checkbox"/> Plumb.	<input type="checkbox"/> Fire	<input type="checkbox"/> Elevator
SUBCODE APPROVAL			
NET CO	<u>17-10-08</u>	<u>[ ] CA</u>	
Date:	<u>2008/10/17</u>		
Approved by:	<u>[Signature]</u>		
INSPECTIONS			
Type:	Dates (Month/Day)	Approval	Initial
Footing			
Footing Bonding			
Foundation			
Slab			
Frame			
Truss Sys./Bracing			
Barrier-Free			
Insulation			
Finishes -Base Layer			
Finishes -Final			
Energy			
Mechanical			
TCO			
Other			
Final			
Barrier-Free			

B. BUILDING CHARACTERISTICS		Est. Cost of Bldg. Work:	
Use Group	Present	1. New Bldg.	Work: \$
Constr. Class	Present		\$ <u>150,000</u>
No. of Stories	<u>3</u>	2. Rehabilitation	\$
Height of Structure	<u>30</u> Ft.	3. Total (1+2)	\$ <u>150,000</u>
Area - Largest Floor	<u>1633</u> Sq. Ft.		
New Bldg. Area/All Floors	<u>3012</u> Sq. Ft.		
Volume of New Structure	<u>2196</u> Cu. Ft.		
Total Land Area Disturbed	<u>2300</u> Sq. Ft.		

**C. CERTIFICATION IN LIEU OF OATH**

I hereby certify that I am the (agent of) owner of record and am authorized to make this application.  
Signature [Signature]

**D. TECHNICAL SITE DATA**

DESCRIPTION OF WORK  
Developer New Single Family Dwelling AS per plans

TYPE OF WORK:	FEE (Office Use Only)
<input checked="" type="checkbox"/> New Building	\$ <u>1799</u>
<input type="checkbox"/> Addition	
<input type="checkbox"/> Rehabilitation	
<input type="checkbox"/> Roofing	
<input type="checkbox"/> Siding	
<input type="checkbox"/> Fence	
<input type="checkbox"/> Sign	
<input type="checkbox"/> Pool	
<input type="checkbox"/> Asbestos Abatement Subchapter 8	
<input type="checkbox"/> Lead Haz. Abatement NJAC 5:17	
<input type="checkbox"/> Other	
<input type="checkbox"/> Demolition	

Administrative Surcharge \$	
Minimum Fee \$	
State Permit Surcharge Fee \$	
<b>TOTAL FEE \$</b>	<b>1799</b>

1 White = Inspector Copy  
2 Canary = Office Copy  
3 Pink = Office Copy  
4 Gold = Applicant Copy

Date Received 4/4/07  
Control # 2009-225  
Date Issued  
Permit #





# PLUMBING SUBCODE TECHNICAL SECTION

**A. IDENTIFICATION-APPLICANT:** COMPLETE ALL APPLICABLE INFORMATION. WHEN CHANGING CONTRACTORS, NOTIFY THIS OFFICE. CALL UTILITY DIG NO: 1-800-272-1000.

Block 65 Lot 6-02  
 Work Site Location 177 Grove Ave. Verona N.J. 07044  
 Owner in Fee Tuli Leagy LLC  
 Address 316 Eisenhower Parkway Suite 201  
Bluntton N.J. 07009  
 Tele. (973) 531-9000 (973) 531-1005  
 Contractor A.U.D. PLUMBING & HEATING, INC.  
 Address 19 VANDERHOOF AVENUE  
ROCKAWAY, N.J. 07866  
 Tele. (973) 627-4131 Fax (973) 627-3270  
 Lic. No. 576  
 Federal Emp. No. 22-1643446

## B. PLUMBING CHARACTERISTICS

Use Group Present \_\_\_\_\_ Proposed \_\_\_\_\_  
 Building Sewer Size 4" Public Sewer \_\_\_\_\_ Private Septic \_\_\_\_\_  
 Water Service Public Public Water \_\_\_\_\_ Private Well \_\_\_\_\_  
 Est. Cost of Plumbing Work \$ 9,000

## JOB SUMMARY (Office Use Only)

**PLAN REVIEW**  
 No Plans Required  
 Joint Plan Review Required:  
 Building  Electric  
 Fire  Elevator  
 Plumbing Plans Approved  
 Date: \_\_\_\_\_ Approved by: \_\_\_\_\_  
**SUBCODE APPROVAL**  
DACG 1CCG 1CA  
 Date: 3-20-08 SLT  
 Approved by: \_\_\_\_\_

**INSPECTIONS**

Type:	Failure	Dates (Month/Day)	Approval	Initial
Slab:				
Rough				
Water				
Sewer	<u>Some TIT/2-11-07</u>			
Fixtures				
Gas Equipment	<u>W/LE AT Sump</u>			
Gas Piping				
Solar				
TCO				

## C. CERTIFICATION IN LIEU OF OATH

I hereby certify that I am the (agent of) owner of record and am authorized to make this application and perform the work listed on this application.

Signature of Contractor's Seal \_\_\_\_\_

Licensed Plumbing Contractor  Exempt Applicant

Date Received 4/4/07  
 Date Issued \_\_\_\_\_  
 Control # 2007-226  
 Permit # \_\_\_\_\_

## D. TECHNICAL SITE DATA (List of all fixtures.)

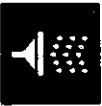
NO.	FIXTURE/EQUIPMENT	FEE (Office Use Only)
3	Water Closet	70
2	Urinal/Bidet	20
4	Bath Tub	40
1	Lavatory	10
2	Shower	20
1	Floor Drain	10
1	Sink	10
1	Dishwasher	10
1	Drinking Fountain	20
2	Washing Machine	20
1	Hose Bibb	10
1	Water Heater	10
1	Fuel Oil Piping	10
1	Gas Piping	10
1	Steam Boiler	10
1	Hot Water Boiler	10
1	Sewer Pump	10
1	Interceptor/Separator	10
1	Backflow Preventer	10
1	Greasetrap	10
1	Sewer Connection	10
1	Water Service Connection	10
2	Stacks	10
1	Other	10
1	Other	10
1	Other	10

Administrative Surcharge \$ \_\_\_\_\_  
 Minimum Fee \$ \_\_\_\_\_  
 DCA Training Fee \$ 240  
**TOTAL FEE** \$ \_\_\_\_\_

*Heat by order  
 Condensate by  
 others*



# PLUMBING SUBCODE TECHNICAL SECTION



A. IDENTIFICATION-APPLICANT: COMPLETE ALL APPLICABLE INFORMATION. WHEN CHANGING CONTRACTORS, NOTIFY THIS OFFICE. CALL UTILITY DIG NO: 1-800-272-1000.

Block 65 Lot 6.0 Qualification Code \_\_\_\_\_  
 Work Site Location 177 Grove Avenue  
Verona New Jersey, LLC  
 Owner in Fee: Felix Realty, LLC e-mail Sandytuli@Comcast.net  
 Tel. (973) 535-9000  
 Address 316 Eisenhower Parkway <sup>city</sup> Livingston, NJ <sup>zip code</sup> 07039  
 Contractor: Self Tel. (973) 535-9000  
 Address \_\_\_\_\_ e-mail \_\_\_\_\_  
 Contractor License No. 13040216800 Exp. Date 12/31/2007  
 Federal Employee No. 22-3517342 FAX: (973) 535-9005

## B. PLUMBING CHARACTERISTICS

Use Group Present \_\_\_\_\_ Proposed \_\_\_\_\_  
 Building Sewer Size \_\_\_\_\_ Public Sewer \_\_\_\_\_ Private Septic \_\_\_\_\_  
 Water Service Size \_\_\_\_\_ Public Water \_\_\_\_\_ Private Well \_\_\_\_\_  
 Est. Cost of Plumbing Work \$ 15,000

## JOBSUMMARY (Office Use Only)

PLAN REVIEW	INSPECTIONS	Dates (Month/Day)
Type:	Failure	Approval
<input type="checkbox"/> No Plans Required	Slab	Initial
Joint Plan Review Required:	Rough	
<input type="checkbox"/> Building <input type="checkbox"/> Electric	Water	
<input type="checkbox"/> Fire <input type="checkbox"/> Elevator	Sewer	
<input checked="" type="checkbox"/> Plumbing Plans Approved	Fixtures	
Date: <u>6/25/07</u>	Gas Equipment	
Approved by: <u>[Signature]</u>	Gas Piping	
SUBCODE APPROVAL	LPGas Tank	
<input checked="" type="checkbox"/> CC <input type="checkbox"/> CCO <input type="checkbox"/> CA	Fuel Oil Piping	
Date: <u>2-20-08</u>	Solar	
Approved by: <u>[Signature]</u>	TCCO	

## C. CERTIFICATION IN LIEU OF OATH

I hereby certify that I am the (agent of) owner of record and am authorized to make this application and perform the work listed on this application.  
 Applicant's Signature/Contractor's Seal and Signature  
 Licensed Plumbing Contractor  Exempt Applicant

Date Received Control # 7/2/07  
 Date Issued Permit # 2007 225

## D. TECHNICAL SITE DATA (List of all fixtures.)

NO.	FIXTURE/EQUIPMENT	FEE (Office Use Only)
	Water Closet	
	Urinal/Bidet	
	Bath Tub	
	Lavatory	
	Shower	
	Floor Drain	
	Sink	
	Dishwasher	
	Drinking Fountain	
	Washing Machine	
	Hose Bibb	
	Water Heater	
	Fuel Oil Piping	
	Gas Piping	
	LPGas Tank	
	Steam Boiler	
	Hot Water Boiler	
	Sewer Pump	
	Interceptor/Separator	
	Backflow Preventer	
	Greasetrap	
	Sewer Connection	
	Water Service Connection	
	Stacks	
	Other <u>Furnace</u>	
	Other <u>Condenser</u>	
	Administrative Surcharge \$	
	Minimum Fee \$	
	State Permit Surcharge Fee \$	
	TOTAL FEE \$	<u>160</u>

1 White = Inspector Copy  
 2 Canary = Office Copy  
 3 Pink = Office Copy  
 4 Gold = Applicant Copy



# Certificate of Participation

in the New Home Warranty Security Fund

Owner  Check if for Common Elements\*

Registered Builder-Warrantor\*\*

1 Paul + Roseann Chanley  
 Name of Owner who will be first resident. \*When used for common elements, enter name of condominium development. See builder instruction sheet. A separate Certificate of Participation is required for each individual building in a condominium development.

2 Tuli Realty LLC  
 Name  
316 Elmhurst Parkway  
 Street and Number (Mailing Address)  
Livingston N.J. 07039  
 City State Zip Code  
 Phone Number (973) 535-9000  
 NJ Builder Registration Number 34936  
 Print Builder Name Tuli Realty LLC  
Sandy Tuli  
 Registered Builder's Signature  
 \*\*Where title is transferred, the seller must be the registered builder and warrantor.

3 **New Dwelling Location**  
177 Grove Avenue  
 Street Name and Number  
177  
 Building Number Unit Number Total Number of Units in Building  
Vecona N.J. 07044  
 City Zip Code  
65 6-0  
 Block Number Lot Number  
Vecona Essex  
 Municipality County 070

4 **Commencement Date of Warranty**  
 Commencement Date\*\*\* 08-01-2008  
 Month Day Year  
 \*\*\*The date of closing or first occupancy, whichever occurs first. ANY CHANGE IN THE COMMENCEMENT DATE MUST BE REPORTED TO THE PROGRAM.

5 **Premium Payment**  
 a. Selling Price\*\*\*\* \$ 700,000  
 Amount of Premium \$ 2233.00  
 (Rate .00317 x Selling Price)  
 \*\*\*\*Any change in the selling price and premium must be reported to the Program along with supplemental payment if applicable.  
 A premium payment is not required if this certificate is for common elements in a condominium development.  
 b.  Check if house is constructed on owner's lot. Then calculate warranty premium as follows:  
 Total Contract Price For Office Use Only  
 Amount of Premium \$  
 (1.25 x Total Contract Price x Rate \_\_\_\_\_)

6 **FHA Mortgage**  
 Check if FHA Mortgage  
 FHA Case Number -  
 Check if VA Mortgage  
 VA Case Number \_\_\_\_\_

7 **Exclusions**  
 Check if exclusion sheet is included.

8 **Building Type (check one)**  
 Single family detached (101)  Condominium - three or four units in each building (104)  
 Townhouse (102)  Condominium - five or more units in each building (105)  
 Two Family (103)  
 Side by Side  
 Top/Bottom

9 **Construction Type (check one)**  
 Premanufactured (Industrial or modular) (M)  
 Conventional Construction (C)

10 **Stories**  
 Number of stories 2

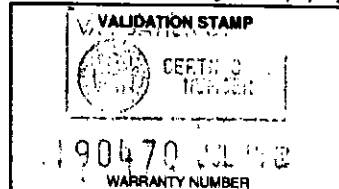
11 **Owner Type (check one)**  
 Condominium or Cooperative (C)  
 Homeowners' Association - fee simple (H)  
 No Homeowners' Association - fee simple (N)

12 **PRED**  
 PRED Registration or Exemption Number (R or E)  
 \_\_\_\_\_

**Note to Owner:**  
 Any disagreement with information in blocks 1, 3, 4, and 5 on this certificate must be reported to the New Home Warranty Program within 45 days from its receipt. Your Builder/Warrantor must give you a Homeowner's Booklet with this certificate. If you did not receive it, write to the above address.

This certifies that the above described dwelling unit carries a New Home Warranty issued pursuant to the New Home Warranty and Builders' Registration Act, NJSA 46:3B-1 et seq. Said warranty is valid for varying periods of 1, 2, and 10 years.

Note: See reverse side for assignment of property.

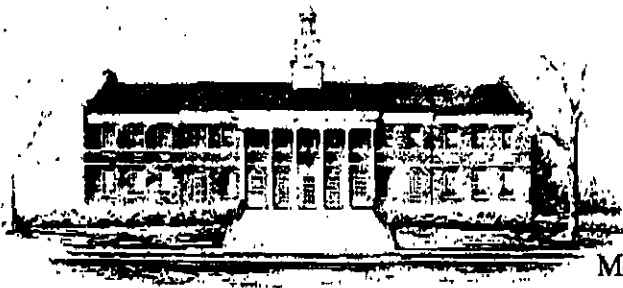


# Township of Verona

#10 Commerce Court  
VERONA, NEW JERSEY 07044

OFFICE OF THE TOWNSHIP ENGINEER

Telephone: (973) 857-4603 Fax: (973) 239-7837



## Memorandum

For: Thomas Jacobson, Construction Code Official  
From: James M. Helb, Township Engineer  
Date: April 9, 2008  
Re: 175-177 Grove Avenue, Verona, NJ  
(Tax Map Block 65 - Lots 6.01 & 6.02)

Please be advised that our office has inspected the drainage for the above project and the drainage has been installed to the satisfaction of the Township Engineer's Office and is in accordance with the "As-built Survey" prepared by James R. McCumsey, PE dated April 7, 2008.

JMH

TOWNSHIP OF VERONA

Date: 3/27/2007

To: Tom Jacobsen, Building Inspector

From: E.Romeo Longo, CTA, Municipal Tax Assessor

Re: C.O.A.H. (Council On Affordable Housing) Development Fee  
Chapter 150 of the code of the Township of Verona  
Adopted 12/19/2005 – Ord. #22-05 (Amend.06/19/06)

Block: 65 Lot: 6.02

Location: 177 Grove Avenue

The above captioned property requires PARTIAL collection of the Development Fee at the time permits are issued by the Building Department for the amount of:

\*Amount \$ 3,325

The "Fee" is based upon an initial estimated assessment. The final assessment will be determined at project completion. Please notify the Assessor's Office once final inspections have been made by the Building Department.

Initial Estimated Equalized Assessment:	\$ 665,000
1 percent (Residential)	\$ 6,650
2 percent (Non-residential) (6% "D" Variance)	
Final Equalized Assessment (based upon C/O or C/A)	
1 percent (Residential)	\$ -
2 percent (Non-residential) (6% "D" Variance)	
Less: Initial Payment (50% @ time of permit)	\$ (3,325)
<b>**Final Amount due (At time C/O or C/A issued)</b>	<b>\$ 3,325</b>

\*Predicated upon applicant providing appropriate plans & specs, hard & soft costs and any additional information that may be required. Copies of leases or asking rents must be provided. Value estimate is subject to change.

\*\* Does not include Added Assessment (if any)

**Tuli Realty, LLC.**

**Licensed Real Estate Brokers/Builders**

P. O. Box 333

316 Eisenhower Parkway, Suite 201

Livingston, New Jersey 07039

Telephone: (973) 535-9000 Facsimile: (973) 535-9005

tulirealty@comcast.net

March 17, 2008

Township of Verona  
Engineering Department  
Commerce Court  
Verona, New Jersey 07044  
Attention: James Helb, PE, LS PP

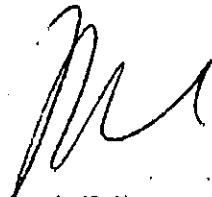
Re: 175 Grove Avenue, Verona  
177 Grove Avenue, Verona

Dear Mr. Helb:

Attached you find a revised drawing of the storm water piping for the above referenced homes. As directed, all storm water piping has now been directed to the catch basin on Grove Avenue and two retention systems are now decommissioned.

If you have any questions, please feel free to call.

Very truly yours,



Sandy Tuli

cc: Jim McCumsey, PE (VIA FACSIMILE: (973) 857-2281)  
Glen Hauser, Verona Building Department (VIA FACSIMILE: (973) 857-5134)

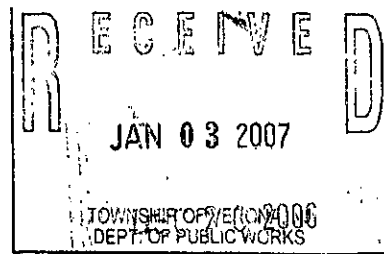
*Jon S. Corzine*

Jon S. Corzine  
Governor



State of New Jersey

Department of Environmental Protection



Lisa P. Jackson  
Commissioner

Office of Brownfield Reuse  
Cleanup Star Program  
P.O. Box 028  
401 East State Street, 6<sup>th</sup> floor  
Trenton, New Jersey 08625-0028  
Telephone: (609) 292-1251  
Facsimile: (609) 777-1914

December 26, 2006

Mr. Donald Wilson  
Optics for Research, Inc.  
62 Depot Street  
Verona, NJ 07044

Re: Entire Site  
Unrestricted Use - No Further Action Letter and Covenant Not to Sue  
Optics for Research, Inc.  
Block 124, Lot 1  
62 Depot Street  
Verona Township, Essex County  
Program Interest #: G000035023, Activity Number: CSP060001, ISRA Case #: E20060229  
Negative Declaration Affidavit dated: December 20, 2006  
ISRA Transaction: Sale of Business

Dear Mr. Wilson:

Pursuant to N.J.S.A. 58:10B-13.1 and N.J.A.C. 7:26C, the New Jersey Department of Environmental Protection (Department) makes a determination that no further action is necessary for the remediation of the site, specifically referenced above, except as noted below, so long as Optics for Research Inc. did not withhold any information from the Department. This action is based upon information in the Department's case file and Optics for Research Inc.'s final certified report dated December 21, 2006. In issuing this No Further Action Determination and Covenant Not to Sue, the Department has relied upon the certified representations and information provided to the Department.

By issuance of this No Further Action Determination, the Department acknowledges the completion of a Preliminary Assessment and A Site Investigation pursuant to the Technical Requirements for Site Remediation (N.J.A.C. 7:26E) for the entire site.

NO FURTHER ACTION CONDITIONS

As a condition of this No Further Action Determination pursuant to N.J.S.A. 58:10B-12o, Optics for Research Inc. and any other person who was liable for the cleanup and removal costs, and remains liable pursuant to the Spill Act, shall inform the Department in writing within 14 calendar days whenever its name or address changes. Any notices submitted pursuant to this paragraph shall reference the above case numbers and shall be sent to: Director, Division of Remediation Management and Response, P.O. Box 28, Trenton, N.J. 08625.

COVENANT NOT TO SUE

The Department issues this Covenant Not to Sue (Covenant) pursuant to N.J.S.A. 58:10B-13.1. That statute requires a Covenant not to sue with each no further action letter. However, in accordance with N.J.S.A. 58:10B-13.1, nothing in this Covenant shall benefit any person who is liable, pursuant to the Spill Compensation and Control Act (Spill Act), N.J.S.A. 58:10-23.11, for cleanup and removal costs and the Department makes no representation by the issuance of this Covenant, either express or implied, as to the Spill Act liability of any person.

The Department covenants, except as provided in the preceding paragraph, that it will not bring any civil action against:

- (a) the person who undertook the remediation;

- (b) subsequent owners of the subject property;
- (c) subsequent lessees of the subject property; and
- (d) subsequent operators at the subject property;

for the purposes of requiring remediation to address contamination which existed prior to the date of the final certified report [Preliminary Assessment/Site Investigation Report dated December 21, 2006] for the real property at the site identified above, payment of compensation for damages to, or loss of, natural resources, or payment of compensation for damages to, or loss of, natural resources, for the restoration of natural resources in connection with the discharge on the property, or payment of cleanup and removal costs for such additional remediation.

Pursuant to N.J.S.A. 58:10B-13.1d, this Covenant does not relieve any person from the obligation to comply in the future with laws and regulations. The Department reserves its right to take all appropriate enforcement for any failure to do so.

The Department may revoke this Covenant at any time after providing notice upon its determination that any person with the legal obligation to comply with any condition in this No Further Action Determination has failed to do so; this Covenant, which the Department has executed in duplicate, shall take effect immediately once the person who undertook the remediation has signed and dated the Covenant in the lines supplied below and the Department has received one copy of this document bearing original signatures of the Department and the person who undertook the remediation.

**Optics for Research Inc.**

By: \_\_\_\_\_

Signature: \_\_\_\_\_

Title: \_\_\_\_\_

Dated: \_\_\_\_\_

**NEW JERSEY DEPARTMENT OF ENVIRONMENTAL PROTECTION**

By: Kenneth J. Kloo

Signature: *Gary Sanderson for KITE*

Title: Administrator, Office of Brownfield Reuse

Dated: 12/26/06

If you have any questions, please contact Gary Sanderson, Cleanup Star Program Coordinator at (609) 633-0544.

Sincerely,

*Gary Sanderson for*

Kenneth J. Kloo, Administrator  
Office of Brownfield Reuse

- c: Thomas A. Restaino, Montclair Health Department
- Michael Festa, Essex County Department of Health
- Municipal Clerk, Verona Township
- Gary Sanderson, NJDEP/OBR/Cleanup Star Program Coordinator
- Mark Fisher, Environmental Liability Management, Inc.





# PLUMBING SUBCODE TECHNICAL SECTION

**A. IDENTIFICATION-APPLICANT:** COMPLETE ALL APPLICABLE INFORMATION. WHEN CHANGING CONTRACTORS, NOTIFY THIS OFFICE. CALL UTILITY OFFICE NO: 1-800-272-1000.

Block 65 Work Site Location 177 Grove Ave Verona N.J. 07044  
 Owner in Fee Tuli Realty LLC  
 Address 316 Eisenhower Parkway Suite 201  
Clarkstown N.J. 07039  
 Tele. (973) 531-9000 (973) 531-3005  
 Contractor A.U.D. PLUMBING & HEATING, INC.  
 Address 19 VANDERHOOF AVENUE  
ROCKAWAY, N.J. 07866  
 Tele. (973) 627-4131 Fax (973) 627-3270  
 Lic. No. 576  
 Federal Emp. No. 22-1643446

## B. PLUMBING CHARACTERISTICS

Use Group Present Y Proposed \_\_\_\_\_  
 Building Sewer Size 1 1/2" Public Sewer \_\_\_\_\_ Private Septic \_\_\_\_\_  
 Water Service Public Water Public Water \_\_\_\_\_ Private Well \_\_\_\_\_  
 Est. Cost of Plumbing Work \$ 9,000

## JOB SUMMARY (Office Use Only)

**PLAN REVIEW**  
 No Plans Required  
 Joint Plan Review Required:  
 Building  Electric  
 Fire  Elevator  
 Plumbing Plans Approved  
 Date: \_\_\_\_\_ Approved by: \_\_\_\_\_

**INSPECTIONS**  
 Type: Slab \_\_\_\_\_ Failure \_\_\_\_\_ Approval \_\_\_\_\_ Initial \_\_\_\_\_  
 Rough \_\_\_\_\_  
 Water \_\_\_\_\_  
 Sewer \_\_\_\_\_  
 Fixtures \_\_\_\_\_  
 Gas Equipment \_\_\_\_\_  
 Gas Piping \_\_\_\_\_  
 Solar \_\_\_\_\_  
 TCO \_\_\_\_\_

**SUBCODE APPROVAL**  
 CO  CCO  CA  
 Date: \_\_\_\_\_ Approved by: \_\_\_\_\_

## C. CERTIFICATION IN LIEU OF OATH

I hereby certify that I am the agent of owner of record and am authorized to make this application and perform the work listed on this application.

Signature [Signature] Contractor's Seal [Seal]  
 Licensed Plumbing Contractor  Exempt Applicant

Date Received 4/4/07  
 Date Issued \_\_\_\_\_  
 Control # 2007-225  
 Permit # \_\_\_\_\_

## D. TECHNICAL SITE DATA (List of all fixtures.)

NO.	FIXTURE/EQUIPMENT	FEE (Office Use Only)
3	Water Closet	70
2	Urinal/Bidet	20
4	Bath Tub	40
1	Lavatory	10
2	Shower	20
1	Floor Drain	10
1	Sink	20
1	Dishwasher	10
1	Drinking Fountain	20
2	Washing Machine	10
1	Hose Bibb	10
1	Water Heater	10
1	Fuel Oil Piping	10
1	Gas Piping	10
1	Steam Boiler	10
1	Hot Water Boiler	10
1	Sewer Pump	10
1	Interceptor/Separator	10
1	Backflow Preventer	10
1	Greasetrap	10
1	Sewer Connection	10
1	Water Service Connection	10
2	Stacks	10
1	Other	10
1	Other	10
1	Other	10

Administrative Surcharge \$ \_\_\_\_\_  
 Minimum Fee \$ \_\_\_\_\_  
 DCA Training Fee \$ \_\_\_\_\_  
 TOTAL FEE \$ 740

*Heat by other  
 Condensate by  
 others*



**PLUMBING  
SUBCODE  
TECHNICAL SECTION**

**A. IDENTIFICATION-APPLICANT: COMPLETE ALL APPLICABLE INFORMATION. WHEN CHANGING CONTRACTORS, NOTIFY THIS OFFICE. CALL UTILITY BIG NO: 1-800-272-1000.**

Block 65      Work Site Location 177 Grove Ave  
 Owner in Fee Verona N.J. 07044  
 Address 316 Eisenhower Parkway Suite 201  
Verona N.J. 07039  
 Contractor A.U.D. PLUMBING & HEATING, INC.  
 Address 19 VANDERHOOF AVENUE  
ROCKAWAY, N.J. 07866  
 Tele. (973) 627-4131 Fax (973) 627-3270  
 Lic. No. 576  
 Federal Emp. No. 22-1643446

**B. PLUMBING CHARACTERISTICS**

Use Group Present Proposed \_\_\_\_\_  
 Building Sewer Size \_\_\_\_\_ Public Sewer \_\_\_\_\_ Private Septic \_\_\_\_\_  
 Water Service 1 1/2" Public Water \_\_\_\_\_ Private Well \_\_\_\_\_  
 Est. Cost of Plumbing Work \$ 9,000

**JOB SUMMARY (Office Use Only)**

PLAN REVIEW		INSPECTIONS	
Type:	Dates (Month/Day)	Failure	Approval
<input type="checkbox"/> No Plans Required			
Joint Plan Review Required:			
<input type="checkbox"/> Building <input type="checkbox"/> Electric			
<input type="checkbox"/> Fire <input type="checkbox"/> Elevator			
<input type="checkbox"/> Plumbing Plans Approved			
Date: _____			
Approved by: _____			
SUBCODE APPROVAL			
<input type="checkbox"/> CO <input type="checkbox"/> CCO <input type="checkbox"/> CA			
Date: _____			
Approved by: _____			

**C. CERTIFICATION IN LIEU OF OATH**

I hereby certify that I am the (agent of) owner of record and am authorized to make this application and perform the work listed on this application.

Signature \_\_\_\_\_ Contractor's Seal \_\_\_\_\_  
 Licensed Plumbing Contractor  Exempt Applicant

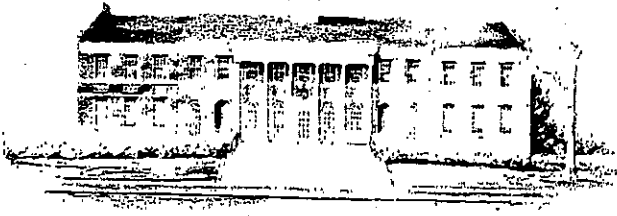
Date Received 4/4/07  
Date Issued \_\_\_\_\_  
Control # 7007-225  
Permit # \_\_\_\_\_

**D. TECHNICAL SITE DATA (List of all fixtures.)**

NO.	FIXTURE/EQUIPMENT	FEE (Office Use Only)
3	Water Closet	\$ 7.00
2	Urinal/Bidet	2.00
4	Bath Tub	4.00
1	Lavatory	1.00
	Shower	
2	Floor Drain	1.00
1	Sink	1.00
	Dishwasher	
1	Drinking Fountain	1.00
2	Washing Machine	2.00
1	Hose Bibb	1.00
	Water Heater	
	Fuel Oil Piping	
1	Gas Piping	1.00
	Steam Boiler	
	Hot Water Boiler	
	Sewer Pump	
	Interceptor/Separator	
	Backflow Preventer	
	Greasetrap	
1	Sewer Connection	
1	Water Service Connection	
2	Stacks	2.00
	Other _____	
	Other _____	
	Other _____	

Administrative Surcharge \$ \_\_\_\_\_  
 Minimum Fee \$ \_\_\_\_\_  
 DCA Training Fee \$ \_\_\_\_\_  
**TOTAL FEE \$ \_\_\_\_\_**

*Handwritten notes:*  
 - List of fixtures  
 - Condensate



# Township of Verona

880 Bloomfield Avenue  
Verona, New Jersey 07044

OFFICE OF THE CONSTRUCTION OFFICIAL

Telephone: (973) 857-4834 Fax: (973) 857-5134

## ZONING CALCULATION FORM

This form shall be completed by the Applicant and shall be submitted with construction permit application for all new residential construction and additions in Residential Zone Districts R-1 through R-4. The Applicant shall complete all items on this form.

WORKSITE ADDRESS <u>177 GRANT AVENUE, VERONA, NJ 07044</u>	Block	<u>65</u>	Lot	<u>6.02</u>
Applicant's Name <u>THY REALTY, LLC (ATTN: SAM YULI)</u>	Zone District	<u>R-4</u>		
Applicant's Address <u>316 BIRNHOFF PARKWAY, LIVINGSTON, NJ 07039</u>	Telephone Number	<u>(973) 535-9000</u>		

LOT AND YARD REQUIREMENTS	Existing	Proposed	R-1	R-2	R-3	R-4	Conforms?	
Lot Area:	<u>8400 s.f.</u>	<u>8400 s.f.</u>	<u>30,000 s.f.</u>	<u>15,000 s.f.</u>	<u>10,000 s.f.</u>	<u>8,400 s.f.</u>	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No
Lot Width:	<u>70 ft.</u>	<u>70 ft.</u>	<u>150 ft.</u>	<u>100 ft.</u>	<u>80 ft.</u>	<u>70 ft.</u>	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No
Lot Depth:	<u>120 ft.</u>	<u>120 ft.</u>	<u>175 ft.</u>	<u>150 ft.</u>	<u>125 ft.</u>	<u>90 ft.</u>	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No
Front Yard Setback	<u>30 ft.</u>	<u>36 ft.</u>	<u>45 ft.</u>	<u>40 ft.</u>	<u>35 ft.</u>	<u>30 ft.</u>	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No
Rear Yard Setback	<u>30 ft.</u>	<u>45 ft.</u>	<u>50 ft.</u>	<u>40 ft.</u>	<u>30 ft.</u>	<u>30 ft.</u>	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No
Side Yard Setback (One)	<u>10 ft.</u>	<u>10 ft.</u>	<u>15 ft.</u>	<u>11 ft.</u>	<u>9 ft.</u>	<u>8 ft.</u>	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No
Side Yard Setback (Both) (not less than 25% of lot width*)	<u>18 ft.*</u>	<u>19 ft.*</u>	<u>38 ft.*</u>	<u>25 ft.*</u>	<u>20 ft.*</u>	<u>18 ft.*</u>	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No
HEIGHT, COVERAGE & DENSITY REQUIREMENTS	Existing	Proposed	R-1	R-2	R-3	R-4	Conforms?	
Maximum Building Height - Principal Building	<u>— ft.</u>	<u>29 ft.</u>	<u>30</u>	<u>30</u>	<u>30</u>	<u>30</u>	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No
Maximum Building Height - Accessory Building	<u>— ft.</u>	<u>— ft.</u>	<u>15</u>	<u>15</u>	<u>15</u>	<u>15</u>	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No
Max. Lot Coverage: for Principal & Accessory Buildings	<u>— %</u>	<u>22 %</u>	<u>20%</u>	<u>25%</u>	<u>30%</u>	<u>30%</u>	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No
Max. Improved Lot Coverage based on New Site Area	<u>— %</u>	<u>39 %</u>	<u>35%</u>	<u>40%</u>	<u>40%</u>	<u>40%</u>	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No
ACCESSORY USE REQUIREMENTS	Existing	Proposed	R-1	R-2	R-3	R-4	Conforms?	
Minimum Accessory Structure Side Setback - ft.	ft.	ft.	<u>5</u>				Yes	No
Minimum Accessory Structure Rear Setback - ft.	ft.	ft.	<u>5</u>				Yes	No
Minimum Accessory Structure Front Setback	ft.	ft.	<u>150% of required front setback</u>				Yes	No

Prepared by:

Signature of Applicant

8/29/06

Date



# ELECTRICAL SUBCODE TECHNICAL SECTION



A. IDENTIFICATION--APPLICANT: COMPLETE ALL APPLICABLE INFORMATION. WHEN CHANGING CONTRACTORS, NOTIFY THIS OFFICE. CALL UTILITY DIG NO: 1-800-272-1000.

Block 65 Lot 6.03 Qualification Code \_\_\_\_\_  
 Work Site Location 177 Grove Avenue  
Verona, NJ 07044  
 Owner in Fee: THEY BROTHERS LLC  
 Tel. ( 973 ) 535-9000 e-mail TULCANY@E-COMM.SI.NET  
 Address 316 E San Antonio UNIVERSITY CITY NJ 07039 zip code  
**CHILELECTRIC**  
 Contractor: 21 Harrison Ave. Tel. ( 732 ) 43336597  
 Address Carteret, NJ 07008 e-mail \_\_\_\_\_  
 Contractor License No. 732-541-0286 Exp. Date \_\_\_\_\_  
 Federal Employee No. 13112 FAX: ( \_\_\_\_\_ ) \_\_\_\_\_  
22-3336674

B. ELECTRICAL CHARACTERISTICS  
 Use Group Present \_\_\_\_\_ Proposed \_\_\_\_\_  
 Pole/Pad # \_\_\_\_\_  Temporary  Other \_\_\_\_\_  
 Building Occupied as \_\_\_\_\_ Utility Co. \_\_\_\_\_  
 Est. Cost of Elec. Work \$ 12,000

JOB SUMMARY (Office Use Only)		INSPECTIONS		Dates (Month/Day)	
PLAN REVIEW	Date Initial	Type:	Failure	Failure	Approval Initial
<input type="checkbox"/> No Plans Required		Rough			
Joint Plan Review Required:		Barrier-Free			
<input type="checkbox"/> Building <input type="checkbox"/> Plumbing		Trench			
<input type="checkbox"/> Fire <input type="checkbox"/> Elevator		Temp. Serv.			
<input checked="" type="checkbox"/> Elec. Plans Approved		Constr. Serv.			
Date: <u>12/21/06</u>		TCO			
Approved by: <u>JUL</u>		Other			
<u>217005 r.l.c.</u>		Service			
<u>4 217005</u>		Final			
SUBCODE APPROVAL		Barrier-Free			
<input type="checkbox"/> CO <input type="checkbox"/> CCO <input type="checkbox"/> CA		Temp. Cut-in-Card Date Issued			
Date: _____		Final Cut-in-Card Date Issued			
Approved by: _____		Annual Pool Inspection			
		Date of Grounding and Bonding			
		Certification			

150-52 730 50 B  
 210-70 230 Carteret NJ 07005  
 U.C.C. F120 (rev. 05/05) 1 White = Inspector Copy 2 Canary = Office Copy 3 Pink = Office Copy 4 Gold = Applicant Copy  
 Reorder from DCS Printing (609) 398-4375

Date Received 4/4/07  
 Control # \_\_\_\_\_  
 Date Issued \_\_\_\_\_  
 Permit # 207-225

C. CERTIFICATION IN FULL OF OATH  
 I hereby certify that I am the (agent of) owner of record and am authorized to make this application and perform the work listed on this application.

Applicant's Signature/Contractor's Seal and Signature  
 Licensed Elec. Contractor  Certifd Landscape Irrigation Contr'r  Exempt Applicant

D. TECHNICAL SITE DATA

ITEMS	QTY.	SIZE	TOTAL NUMBERS	FEE (Office Use Only)
Lighting Fixtures	43		160	\$ 50
Receptacles	60			
Switches	43			
Detectors	9			
Light Poles				
Motors-Fract. HP	4			
Emergency & Exit Lights				
Communications Points				
Alarm Devices/F.A.C. Panel				
Pool Permit/with UW Lights				
Storable Pool/Spa/Hot Tub				
KW Elec. Range/Receptacle				
KW Oven/Surface Unit				
KW Elec. Water Heater				
KW Elec. Dryer/Receptacle				
KW Dishwasher	1			10
HP Garbage Disposal	1	1/2		10
KW Central A/C Unit	2			50
HP/KW Space Heater/Air Handler	2			
KW Baseboard Heat				
HP Motors 1/+ HP				
KW Transformer/Generator				
AMP Service	1	300		40
AMP Subpanels				
AMP Motor Control Center				
KW Elec. Sign/Outline Light				

Administrative Surcharge \$ \_\_\_\_\_  
 Minimum Fee \$ \_\_\_\_\_  
 State Permit Surcharge Fee \$ \_\_\_\_\_  
**TOTAL FEE \$ 262**



# CONSTRUCTION PERMIT

Date Issued 4/4/07  
Permit # 2007-226

IDENTIFICATION Block 65 Lot 6.02

Work Site Location 177 Game Avenue Qualification Code \_\_\_\_\_  
Verona, NJ 07044  
Contractor TNY Realty, LLC  
Owner in Fee TNY Realty, LLC Address 316 Eisenhower Parkway  
Address Livingston, NJ 07039 Tel. (973) 535-9000  
Lic. No. or Bids. Reg. No. 034936 / 13VH02168000

Is hereby granted permission to perform the following work:

- BUILDING  PLUMBING  LEAD HAZARD ABATEMENT
  - ELECTRICAL  FIRE PROTECTION  DEMOLITION
  - ELEVATOR DEVICES  ASBESTOS ABATEMENT  OTHER \_\_\_\_\_
- (Subchapter 8 only)

DESCRIPTION OF WORK:

*Develop New single family dwelling  
As per plans*

NOTE: If construction does not commence within one (1) year of date of issuance, or if construction ceases for a period of six (6) months, this permit is void.

Estimated Cost of Work \$ 172,000 Date 4/3/07

*[Signature]*  
Construction Official

U.C.C. F170 (rev. 01/04) 1 WHITE-INSPECTOR 2 CANARY-OFFICE 3 PINK-TAX ASSESSOR 4 GOLD-APPLICANT (see reverse side) OCS Printing (609) 398-4375

PAYMENTS (Office Use Only)	
Building	<u>1798</u>
Electrical	<u>202</u>
Plumbing	<u>240</u>
Fire Protection	<u>50</u>
Elevator Devices	
Other	
DCA State Permit Fee	<u>119</u>
Cert. of Occupancy	<u>180</u>
Other	
Total	<u>2580</u>
Check No.	
Cash	
Collected by	<u>JA</u>

## REQUIRED INSPECTIONS

Construction work must be inspected in accordance with the State Uniform Construction Code Regulations N.J.A.C. 5:23-2.18. This agency will carry out such periodic inspections during the progress of work as are necessary to insure that work installed conforms with the requirements of the Uniform Construction Code.

The owner or other responsible person in charge of work must notify this agency when work is ready for any required inspections specified below. Requests for inspections must be made at least 24 hours prior to the time the inspection is desired. Inspections will be performed within three business days of the time for which they are requested. The work must not proceed in a manner which will preclude the inspection until it has been made and approval given.

Required inspections for all subcodes for one- and two-family dwellings are as follows:

1. The bottom of footing trenches before placement of footings, except that in the case of pile foundations, inspections shall be made in accordance with the requirements of the building subcode.
2. Foundations and all walls up to grade level prior to back filling.
3. Utility services, including septic.
4. All structural framing, connections, wall and roof sheathing and insulation; electrical rough wiring, panel and service installation; rough plumbing. The framing inspection shall take place after the rough electrical and plumbing inspections and after the installation of the heating, ventilation and/or air conditioning duct system. The insulation inspection shall be performed after all other subcode rough inspections and prior to the installation of any interior finish material.

Additional required inspections for all subcodes of construction, for other than one- and two-family dwellings, are fire suppression systems, heat producing devices and Barrier Free subcode accessibility, if applicable.

Required special inspections. The applicant by accepting the permit will be deemed to have consented to these requirements:

A final inspection is required for each applicable subcode area before a final Certificate of Occupancy or Approval may be issued. The final inspections include the installation of all interior and exterior finish materials, sealing of exterior joints, mechanical system and other required equipment; electrical wiring, devices and fixtures; plumbing pipes, trim and fixtures; tests required by any provision of the adopted subcodes, Barrier Free accessibility, if applicable; and verification of compliance with NJAC 5:23-3.5, "Posting structures".

A complete copy of released plans must be kept on the job site.



# CONSTRUCTION PERMIT

Date Issued 4/4/07

Permit # 2007-225

Block 65

IDENTIFICATION Block 65 Lot 6.02 Qualification Code \_\_\_\_\_

Work Site Location 177 Grove Avenue Contractor T14 Realty LLC

VENONA, NJ 07044 Address 316 EISWITZ ROAD PARKWAY

Owner in Fee T14 Realty, LLC Tel. (973) 535-9000

Address 614 W. 9th St., NJ 07039 Lic. No. or Bldrs. Reg. No. 034936 / 13VH02168000

Is hereby granted permission to perform the following work:

- BUILDING  PLUMBING  LEAD HAZARD ABATEMENT
  - ELECTRICAL  FIRE PROTECTION  DEMOLITION
  - ELEVATOR DEVICES  ASBESTOS ABATEMENT  OTHER \_\_\_\_\_
- (Subchapter 8 only)

DESCRIPTION OF WORK:

Develop New single family dwelling  
As per plans

NOTE: If construction does not commence within one (1) year of date of issuance, or if construction ceases for a period of six (6) months, this permit is void.

Estimated Cost of Work \$ 172,000 Date 4/3/07

[Signature]  
Construction Official

U.C.C. F170 (rev. 01/04)

1 WHITE-INSPECTOR

2 CANARY-OFFICE

3 PINK-TAX ASSESSOR

4 GOLD-APPLICANT

OCS Printing (609) 398-4375

PAYMENTS (Office Use Only)	
Building	<u>1798</u>
Electrical	<u>202</u>
Plumbing	<u>240</u>
Fire Protection	<u>50</u>
Elevator Devices	_____
Other	_____
DCA State Permit Fee	<u>119</u>
Cert. of Occupancy	<u>180</u>
Other	_____
Total	<u>2590</u>
Check No.	_____
Cash	_____
Collected by	<u>[Signature]</u>

(see reverse side)

## REQUIRED INSPECTIONS

Construction work must be inspected in accordance with the State Uniform Construction Code Regulations N.J.A.C. 5:23-2.18. This agency will carry out such periodic inspections during the progress of work as are necessary to insure that work installed conforms with the requirements of the Uniform Construction Code.

The owner or other responsible person in charge of work must notify this agency when work is ready for any required inspections specified below. Requests for inspections must be made at least 24 hours prior to the time the inspection is desired. Inspections will be performed within three business days of the time for which they are requested. The work must not proceed in a manner which will preclude the inspection until it has been made and approval given.

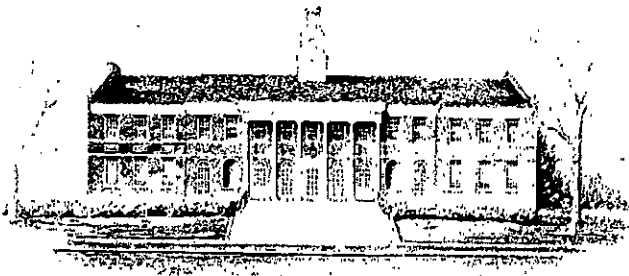
Required inspections for all subcodes for one- and two-family dwellings are as follows:

1. The bottom of footing trenches before placement of footings, except that in the case of pile foundations, inspections shall be made in accordance with the requirements of the building subcode.
  2. Foundations and all walls up to grade level prior to back filling.
  3. Utility services, including septic.
  4. All structural framing, connections, wall and roof sheathing and insulation; electrical rough wiring, panel and service installation; rough plumbing. The framing inspection shall take place after the rough electrical and plumbing inspections and after the installation of the heating, ventilation and/or air conditioning duct system. The insulation inspection shall be performed after all other subcode rough inspections and prior to the installation of any interior finish material.
- Additional required inspections for all subcodes of construction, for other than one- and two-family dwellings, are fire suppression systems, heat producing devices and Barrier Free subcode accessibility, if applicable.
- Required special inspections. The applicant by accepting the permit will be deemed to have consented to these requirements:

A final inspection is required for each applicable subcode area before a final Certificate of Occupancy or Approval may be issued. The final inspections include the installation of all interior and exterior finish materials, sealing of exterior joints, mechanical system and other required equipment; electrical wiring, devices and fixtures; plumbing pipes, trim and fixtures; tests required by any provision of the adopted subcodes, Barrier Free accessibility, if applicable; and verification of compliance with NJAC 5:23-3.5, "Posting structures".

A complete copy of released plans must be kept on the job site.





# *Township of Verona*

880 Bloomfield Avenue  
Verona, New Jersey 07044

OFFICE OF THE CONSTRUCTION OFFICIAL

Telephone: (973) 857-4834 Fax: (973) 857-5134

Three checks- all payable to The Township of Verona

One check for \$2,590.00 for Construction permits for 175 Grove Avenue.

One check for \$2,590.00 for Construction permits for 177 Grove Avenue.

One check for \$3,325.00 for (1/2 of estimated final assessment)

Total \$8,505.00

Water and Sewer connection fees to be calculated by and paid to the Engineer.

Second COAH payment to be made at time of application for final C.O.

The plumbing permit does not reflect any heating equipment or the condensate line for the Air Conditioning.



## HUDSON-ESSEX-PASSAIC SOIL CONSERVATION DISTRICT

April 5, 2007

15 BLOOMFIELD AVENUE  
NORTH CALDWELL NJ 07006  
Telephone: (973) 364-0786  
Fax: (973) 364-0784

Tuli Realty, LLC  
316 Eisenhower Parkway  
Livingston, NJ 07039

Re: 175-177 Grove Ave. Project  
175 & 177 Grove Ave., Verona, NJ  
Block 65, Lots 6.01 & 6.02  
HEP File#207-E-2942, Plan dtd: 3/13/07


Dear Sir/Madam:

The District has completed the review of the soil erosion and sediment control plan for the above referenced project and hereby reports that the plan meets the Standards for Soil Erosion and Sediment Control in New Jersey (N.J.A.C.290-1.1 et seq., promulgated pursuant to the New Jersey Soil Erosion and Sediment Control Act, J.J.S.A.4-24-39 et seq.). Accordingly, the plan has been certified by the Hudson-Essex-Passaic Soil Conservation District subject to the following conditions:

- The District must be notified by mail 48 hours prior to the commencement of any of construction activity.
- A copy of the certified plan must be kept on the job site at all times.
- The applicant or contractor must request a final inspection (once landscaping and final soil stabilization is complete) prior to seeking a temporary or permanent Certificate of Occupancy.
- The District must be provided with written notification of any conveyance of this project, subject property, or portions thereof, including individual residential lots if applicable. Said notice must provide the names, addresses, and telephone numbers of subsequent owners.
- The District must be informed of address and or telephone number changes of owners, agents responsible for site construction, and job supervisors.

Please be advised that the Soil Erosion and Sediment Control Act authorizes the issuance of stop construction orders and penalties of up to \$3000 per day for violations of the certified plan or for failure to comply with the aforementioned requirements. Please be further advised that any conveyance of this project or portions thereof will transfer full responsibility for compliance with the certified plan to subsequent owners. Please contact the District if you require assistance implementing the certified soil erosion and sediment control plan. This certification is valid for 3-1/2 years and is limited to the controls specified in this plan. It is not authorized to engage in proposed land use unless such use has been previously approved by the municipality or other controlling agency.

Yours truly,

  
Carl Quazza  
Chairman



For District Use Only

Application Number	207-E-2942
certified: 4/5/2007	

APPLICATION FOR SOIL EROSION AND SEDIMENT CONTROL PLAN CERTIFICATION

The enclosed soil erosion and sediment control plan and supporting information are submitted for certification pursuant to the Soil Erosion and Sediment Control Act (Chapter 251, P.L. 1975 as amended (NJSA 4:24-39 et. seq.) An application for certification of a soil erosion and sediment control plan shall include the items listed on the reverse side of this form.

Name of Project 175-177 Grove Avenue		Project Location: Municipality Verona	
Project Street Address 175 + 177 Grove Avenue		Block 65	Lot 6.01 + 6.02
Project Owner(s) Name Tuli Realty, LLC		Phone # (973) 535-9000	Fax # (973) 535-9005
Project Owner(s) Street Address (No P.O. Box Numbers) 316 Eisenhower Parkway		City Livingston	State N.J. Zip 07039
Total Area of Project (Acres) .38	Total Area of Land to be Disturbed (Acres) .38	No. Dwelling or other Units 2	Fee \$ 600.00
Plan Prepared by McComsey, LLC		Phone # (973) 857-2281	Fax # (973) 857-2281
Street Address 36 DEPOT STREET		City Verona	State N.J. Zip 07044

(Engineering related items) of the Soil Erosion and Sediment Control Plan MUST be prepared by or under the direction of and be sealed by a Professional Engineer or Architect licensed in the State of New Jersey, in accordance with NJAC 13:27-6.1 et. seq.)

Agent Responsible During Construction Mr. Sandy Tuli
Street Address 316 Eisenhower Parkway
City Livingston State NJ Zip 07039 Phone (973) 535-9000 Fax (973) 535-9005

The applicant hereby certifies that all soil erosion and sediment control measures are designed in accordance with current Standards for Soil Erosion and Sediment Control in New Jersey and will be installed in accordance with those Standards and the plan as approved by the Soil Conservation District and agrees as follows:

- To notify the District in writing at least 48 hours in advance of any land disturbance activity. Failure to provide such notification may result in additional inspection fees.
- To notify the District upon completion of the project (Note: No certificate of occupancy can be granted until a report of compliance is issued by the District)
- To maintain a copy of the certified plan on the project site during construction.
- To allow District agents to go upon project lands for inspection.
- That any conveyance of this project or portion thereof prior to its completion will transfer full responsibility for compliance with the certified plan to any subsequent owners.
- To comply with all terms and conditions of this application and certified plan including payment of all fees prescribed by the district fee schedule hereby incorporated by reference.

The applicant hereby acknowledges that structural measures contained in the Soil Erosion and Sediment Control Plan are reviewed for adequacy to reduce offsite soil erosion and sedimentation and not for adequacy of structural design. The applicant shall retain full responsibility for any damages which may result from any construction activity notwithstanding district certification of the subject soil erosion and sediment control plan. It is understood that approval of the plan submitted with this application shall be valid only for the duration of the initial project approval granted by the municipality. All municipal renewals of this project will require submission and approval by the district. In no case shall the approval extend beyond three and one half years at which time resubmission and certification will be required. Soil Erosion and Sediment Control Plan certification is limited to the controls specified in the plan. It is not authorization to engage in the proposed land use unless such use has been previously approved by the municipality or other controlling agency.

Applicant Certification By <i>[Signature]</i> 3/7/07 Signature Date Mr. Sandy Tuli Applicant Name (Print)	3. Plan determined complete: Signature of District Official _____ Date _____
Receipt of fee, plan and supporting documents is hereby acknowledged: <i>[Signature]</i> 3/22/07 Signature of District Official Date	4. Plan certified, dated for use on _____ above. Special Remarks: <i>[Signature]</i> 4-5-07 Signature of District Official Date

Other than project owner, written authorization of owner must be attached.

TOWNSHIP OF VERONA

BUILDING PERMIT APPLICATION FEE SCHEDULE

OWNER NAME: Luli BLOCK: 65 LOT: 6.02

WORKSITE ADDRESS: 177 Goose Ave DATE: 11/29/06

NEW CONSTRUCTION AND ADDITIONS:

BUILDING FEE: Square Ft. 3012 Cubic Ft. 44,774 x 0.04 \$ 1798  
 State Permit Fee: Cubic Ft. 44,774 x 0.00265 \$ 119  
 Minimum Fee: \$50.00 \$ \_\_\_\_\_

ALTERATIONS/REPAIRS:

BUILDING FEE: \$50 per first \$1000 Est. Cost; \$12 each additional \$1000 or part thereof \$ \_\_\_\_\_  
 STATE PERMIT FEE: \$ \_\_\_\_\_ x \$ 0.00135 per Thousand Est. Cost \$ \_\_\_\_\_  
 ELECTRICAL FEE: Minimum Fee: \$50.00 \$ 207  
 PLUMBING FEE: Minimum Fee: \$75 com /\$50 res; \$10 per fixture; \$50 per special device \$ 240  
 FIRE PROTECTION FEE: Minimum Fee: \$50.00 \$ 50  
 ELEVATOR FEE: \$ \_\_\_\_\_  
 DEMOLITION FEE: \$200 commercial / \$100 1&2 family residential / \$50 accessory structure \$ \_\_\_\_\_  
 MISCELLANEOUS FLAT FEES: Pools/Signs/Other: Minimum Fee: \$50.00 \$ 180  
 CERTIFICATE OF OCCUPANCY: \$ \_\_\_\_\_

TOTAL FEE: \$ 2589

APPROVALS	DATE REV 1	DATE REV 2	COMMENTS (REFER TO BACK FOR ADDITIONAL COMMENTS)	APPR DATE	INIT
ZONING	12/06/06		1. 2.		
ENGINEERING	2/5/07		1. See letter from Jan Hells 2/5/07 2.		
BUILDING	12/20/06	3/17/07	1. 2. HEP Certification		
ELECTRIC			1. per 2005 N.E.C + NOTES 2. + CHANGE CODE	10/10/06	LUR
PLUMBING	12/1/06	12/29/06	1. Water supply isometric drawings needed 2. Duct HVAC drawings needed 3. Gas isometric drawing needed over		
FIRE			1. <u>OK</u> 2. <u>WORK</u>	12/20/06	DR
ELEVATOR			1. 2.		

Fateo Plumbing notes 12/23/06

APPROVALS	ADDITIONAL COMMENTS
BUILDING  1/2/07 -	4/1/07 4/1/07 5/12/07
ELECTRICAL  01/23/07	
PLUMBING  1/2/07 -	Plumbing Isometric Diagram needed O.W. J.C.L.  Nothing yet
FIRE	



# FIRE PROTECTION SUBCODE TECHNICAL SECTION

A. IDENTIFICATION-APPLICANT: COMPLETE ALL APPLICABLE INFORMATION. WHEN CHANGING CONTRACTORS, NOTIFY THIS OFFICE. CALL UTILITY DIG NO: 1-800-272-1000.

Block 65 Lot 6.02 Qualification Code \_\_\_\_\_  
 Work Site Location 177 Grove Avenue, Verona, NJ 07044  
 Owner in Fee: Tyly Perry, LLC  
 Tel. ( 973 ) 535-9000 e-mail Tylyper@comcast.net  
 Address 316 Eisenhower Parkway, Verona, NJ 07044 zip code 07039  
 Contractor: Tyly Perry, LLC **CHILETRIC**  
316 Eisenhower Parkway, Verona, NJ 07044 zip code 535-9000  
Cartersville, NJ 07928 ac.ass.net  
 Fire Protection Equipment, NJ Div of Fire Safety Permit No. 732-541-0286  
 Fire Protection Equipment, NJ Div of Fire Safety Installer No. 43442  
 Fire Alarm Contractor No. 22-3519342  
 Federal Emp. No. 22-3519342 FAX: ( 973 ) 535-9000

B. FIRE PROTECTION CHARACTERISTICS  
 Use Group: Present \_\_\_\_\_ Proposed \_\_\_\_\_ Fire Alarm System: [ ] New or [ ] Existing  
 Constr. Class: Present \_\_\_\_\_ Proposed \_\_\_\_\_ Location of Panel: \_\_\_\_\_  
 Heating System: [ ] New or [ ] Existing [ ] HVAC [ ] Fire Suppression/Standpipe System:  
 Type: [ ] Gas [ ] Oil [ ] Electric [ ] Solar [ ] New or [ ] Existing  
 [ ] Other \_\_\_\_\_ Location of Main Control Valve: \_\_\_\_\_  
 Location: \_\_\_\_\_  
 Fuel Storage Tank: \_\_\_\_\_  
 Fuel Type: [ ] Flammable or [ ] Combustible Capacity \_\_\_\_\_  
 Total Cost of Fire Protection Work \$ 1000.00

JOB SUMMARY (Office Use Only)  
 PLAN REVIEW  
 [ ] No Plans Required  
 Joint Plan Review Required:  
 [ ] Building [ ] Plumbing  
 [ ] Electric [ ] Elevator  
 [ ] Fire Plans Approved  
 Date: 12.20.08  
 Approved by: [Signature]  
 SUBCODE APPROVAL  
 [ ] CO [ ] GCO [ ] CA  
 Date: 12/20/08  
 Approved by: [Signature]  
 INSPECTIONS  
 Type: Alarm System Failure Dates (Month/Day) Approval Initial  
 Suppression Sys. Failure None [Signature]  
 Standpipe Failure \_\_\_\_\_  
 Fire Pump Failure \_\_\_\_\_  
 Pre-Eng. System Failure \_\_\_\_\_  
 Mechanical Failure \_\_\_\_\_  
 Smoke Control Failure \_\_\_\_\_  
 TCO Failure \_\_\_\_\_  
 Flam/Combust Tanks Failure \_\_\_\_\_  
 Fireplace Venting Failure \_\_\_\_\_  
 Final Failure \_\_\_\_\_  
 Other Failure \_\_\_\_\_

Reorder From OCS Printing (609) 398-4375 U.C.C. F140 (rev. 5/05) 1 White = Inspector Copy 3 Pink = Office Copy

Date Received 4/4/07  
Control # \_\_\_\_\_  
Date Issued \_\_\_\_\_  
Permit # 2807-225

C. CERTIFICATION IN LIEU OF OATH  
I hereby certify that I am the (agent of a duly authorized and licensed) \_\_\_\_\_  
Applicant's Signature \_\_\_\_\_ Contractor's Signature \_\_\_\_\_  
[ X ] Certified Contractor [ ] Exempt Applicant

D. TECHNICAL SITE DATA  
DESCRIPTION OF WORK:  
6 smoke detectors, 2 smoke/c.o.combos, 1 heat detector  
Water Supply Source \_\_\_\_\_  
Method of Alarm/Suppression System Supervision \_\_\_\_\_

Flammable/Combustible Tanks	NUMBER	FEE (Office Use Only)
Alarm Systems		
[ ] System		
[ X ] 110v Interconnected		
[ X ] CO Detectors/110v		
Alarm Devices (i.e., smoke, heat, pulls, waterflow)		
Supervisory Devices (i.e., tampers, low/high air)		
Signaling Devices (i.e., horn/strobes, bells)		
Other Devices		
TOTAL		
Suppression Systems		
Fire Pump _____ GPM Type _____		
Dry Pipe/Alarm Valves		
Pre-action Valves		
Sprinkler Heads (Dry and Wet)		
Standpipes		
Pre-engineered Systems		
Wet Chemical		
Dry Chemical		
CO <sub>2</sub> Suppression		
Foam Suppression		
FM200 Suppression		
Other		
Other Systems		
Kitchen Hood Exhaust System		
Smoke Control System		
Fired Appliances [ X ] Gas or [ ] Oil		
Fireplace Venting/Metal Chimney		
Other		
Administrative Surcharge \$		
Minimum Fee \$		
State Permit Surcharge Fee \$		
TOTAL FEE \$		<u>50</u>

2 Canary = Office Copy  
4 Gold = Applicant Copy



# FIRE PROTECTION SUBCODE TECHNICAL SECTION

A. IDENTIFICATION—APPLICANT: COMPLETE ALL APPLICABLE INFORMATION. WHEN CHANGING CONTRACTORS, NOTIFY THIS OFFICE. CALL UTILITY DIG NO: 1-800-272-1000.

Block 65 Lot 6.03 Qualification Code \_\_\_\_\_  
Work Site Location 177 Grove Avenue, Verona, NJ 07044

Owner in Fee: T44 Realty, LLC  
Tel. ( 973 ) 535-9000 e-mail THUENT@t44.com CASI.net  
Address 316 Wisconsin Parkway Municipality GILBERT  
Contractor: T44 Realty, LLC Tel. HARRISON AVENUE  
Address 316 Wisconsin Parkway, Verona, NJ e-mail CASPER@T44.COM  
Fire Protection Equipment, NJ Div of Fire Safety Permit No. 13-112  
Fire Protection Equipment, NJ Div of Fire Safety Installer No. 22-3356674  
Fire Alarm Contractor No. \_\_\_\_\_ Exp. Date \_\_\_\_\_  
Federal Emp. No. 22-3519342 FAX: ( 973 ) 535-9000

B. FIRE PROTECTION CHARACTERISTICS  
Use Group: Present \_\_\_\_\_ Proposed \_\_\_\_\_ Fire Alarm System: [ ] New or [ ] Existing  
Constr. Class: Present \_\_\_\_\_ Proposed \_\_\_\_\_ Location of Panel: \_\_\_\_\_  
Heating System: [ ] New or [ ] Existing [ ] HVAC Fire Suppression/Standpipe System:  
Type: [ ] Gas [ ] Oil [ ] Electric [ ] Solar [ ] New or [ ] Existing  
[ ] Other \_\_\_\_\_ Location of Main Control Valve: \_\_\_\_\_  
Location: \_\_\_\_\_  
Fuel Storage Tank: \_\_\_\_\_  
Fuel Type: [ ] Flammable or [ ] Combustible Capacity \_\_\_\_\_  
Total Cost of Fire Protection Work \$ 1000.00

JOB SUMMARY (Office Use Only)		INSPECTIONS	
PLAN REVIEW	Type:	Failure	Dates (Month/Day)
[ ] No Plans Required	Alarm System	_____	Failure approval <u>3/10/08</u> Initial <u>OK</u>
Joint Plan Review Required:	Suppression Sys.	_____	_____
[ ] Building [ ] Plumbing	Standpipe	_____	_____
[ ] Electric [ ] Elevator	Fire Pump	_____	_____
[ ] Fire Plans Approved	Pre-Eng. System	_____	_____
Date: <u>12.30.06</u>	Mechanical	_____	_____
Approved by: <u>OK</u>	Smoke Control	_____	_____
SUBCODE APPROVAL	TCO	_____	_____
[ ] CO [ ] CA	Flam/Combust Tanks	_____	_____
Date: <u>3/10/08</u>	Fireplace Venting	_____	_____
Approved by: <u>OK</u>	Final	_____	_____
	Other	_____	_____

1 White = Inspector Copy  
3 Pink = Office Copy  
U.C.C. F140 (rev. 5/05)  
Reorder From OCS Printing (808) 398-4375

Date Received 4/4/07  
Control # \_\_\_\_\_  
Date Issued \_\_\_\_\_  
Permit # 2007-225  
C. CERTIFICATION (LET OF DATA)  
I hereby certify that I am the (agent, owner, contractor, and/or authorized) \_\_\_\_\_  
Applicant's Signature/Contractor's Signature \_\_\_\_\_  
[ ] Certified Contractor [ ] Exempt Applicant

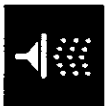
D. TECHNICAL SITE DATA  
DESCRIPTION OF WORK:  
Smoke Detector, 2 smoke/c.o.comb.u.n.o.s, 2 Heat Detector

Water Supply Source	Method of Alarm/Suppression System Supervision	NUMBER	FEE (Office Use Only)
Flammable/Combustible Tanks			
Alarm Systems			
[ ] System			
[ ] 110v interconnected			
[ ] CO Detectors/110v			
Alarm Devices (i.e., smoke, heat, pulls, water/flow)		<u>9</u>	
Supervisory Devices (i.e., tampers, low/high air)			
Signaling Devices (i.e., horn/strobes, bells)			
Other Devices			
TOTAL			
Suppression Systems			
Fire Pump _____ GPM Type _____			
Dry Pipe/Alarm Valves			
Pre-action Valves			
Sprinkler Heads (Dry and Wet)			
Standpipes			
Pre-engineered Systems			
Wet Chemical			
Dry Chemical			
CO <sub>2</sub> Suppression			
Foam Suppression			
FM200 Suppression			
Other _____			
Other Systems _____			
Kitchen Hood Exhaust System			
Smoke Control System			
Fired Appliances [ ] Gas or [ ] Oil			
Fireplace Venting/Metal Chimney			
Other _____			

Administrative Surcharge \$ \_\_\_\_\_  
Minimum Fee \$ \_\_\_\_\_  
State Permit Surcharge Fee \$ \_\_\_\_\_  
TOTAL FEE \$ 30



# PLUMBING SUBCODES TECHNICAL SECTION



Date Received  
Control # 7/2/07

Date Issued  
Permit # DOB-226

A. IDENTIFICATION-APPLICANT: COMPLETE ALL APPLICABLE INFORMATION. WHEN CHANGING CONTRACTORS, NOTIFY THIS OFFICE. CALL UTILITY DIG NO: 1-800-272-1000.

Block 65 Lot 6.01 Qualification Code \_\_\_\_\_  
 Work Site Location 177 Broad Avenue  
Hoboken New Jersey  
 Owner in Fee: Tat. Reamy LLC e-mail Sandytuli@Comcast.net  
 Tel. ( 973 ) 535-9000 zip code 07039  
 Address 36 Ewanhous Parkway Municipality Hoboken  
 Contractor: Self Tel. ( 973 ) 535-9000  
 Address \_\_\_\_\_ e-mail \_\_\_\_\_  
 Contractor License No. 13KH02168200 Exp. Date 12/31/07  
 Federal Employee No. 22-3517342 FAX: ( 973 ) 535-9005

## B. PLUMBING CHARACTERISTICS

Use Group Present \_\_\_\_\_ Proposed \_\_\_\_\_  
 Building Sewer Size \_\_\_\_\_ Public Sewer \_\_\_\_\_ Private Septic \_\_\_\_\_  
 Water Service Size \_\_\_\_\_ Public Water \_\_\_\_\_ Private Well \_\_\_\_\_  
 Est. Cost of Plumbing Work \$ \_\_\_\_\_

JOB SUMMARY (Office Use Only)		INSPECTIONS		Dates (Month/Day)	
PLAN REVIEW	Type:	Failure	Approval	Failure	Approval
<input type="checkbox"/> No Plans Required	Slab				Initial
Joint Plan Review Required:	Rough				
<input type="checkbox"/> Building <input type="checkbox"/> Electric	Water				
<input checked="" type="checkbox"/> Fire <input type="checkbox"/> Elevator	Sewer				
<input checked="" type="checkbox"/> Plumbing Plans Approved	Fixtures				
Date: <u>6/26/07</u>	Gas Equipment				
Approved by: <u>[Signature]</u>	Gas Piping				
SUBCODE APPROVAL	LPG Gas Tank				
<input type="checkbox"/> CO <input type="checkbox"/> CCO <input type="checkbox"/> CA	Fuel Oil Piping				
Date: _____	Solar				
Approved by: _____	TCO				

## C. CERTIFICATION IN LIEU OF OATH

I hereby certify that I am the agent of owner of record and am authorized to make this application and perform the work listed on this application.

Applicant's Signature/Contractor's Seal and Signature  
 Licensed Plumbing Contractor  Exempt Applicant

## D. TECHNICAL SITE DATA (List of all fixtures.)

NO.	FIXTURE/EQUIPMENT	FEE (Office Use Only)
	Water Closet	
	Urinal/Bidet	
	Bath Tub	
	Lavatory	
	Shower	
	Floor Drain	
	Sink	
	Dishwasher	
	Drinking Fountain	
	Washing Machine	
	Hose Bibb	
	Water Heater	
	Fuel Oil Piping	
	Gas Piping	
	LPG Gas Tank	
	Steam Boiler	
	Hot Water Boiler	
	Sewer Pump	
	Interceptor/Separator	
	Backflow Preventer	
	Greasetrap	
	Sewer Connection	
	Water Service Connection	
	Stacks	
	Other <u>Fun 900's</u>	
	Other <u>Condensers</u>	

Administrative Surcharge \$ \_\_\_\_\_  
 Minimum Fee \$ \_\_\_\_\_  
 State Permit Surcharge Fee \$ \_\_\_\_\_  
 TOTAL FEE \$ 160





# PLUMBING SUBCODE TECHNICAL SECTION



A. IDENTIFICATION-APPLICANT: COMPLETE ALL APPLICABLE INFORMATION. WHEN CHANGING CONTRACTORS, NOTIFY THIS OFFICE. CALL UTILITY DIG NO: 1-800-272-1000.

Block 65 Lot 6.01 Qualification Code \_\_\_\_\_  
 Work Site Location 177 Ocean Avenue  
New York New Jersey  
 Owner in Fee: Tel: Henry LLC  
 Tel. ( 973 ) 535-9200 e-mail Sandykuli@Comcast.net  
 Address 36 Eversham Parkway Municipality Livingston zip code 07039  
 Contractor: Self Tel. ( 973 ) 535-9200  
 Address \_\_\_\_\_ e-mail \_\_\_\_\_  
 Contractor License No. 13K402168000 Exp. Date 12/31/07  
 Federal Employee No. 22-3517342 FAX: ( 973 ) 535-9200

## B. PLUMBING CHARACTERISTICS

Use Group Present \_\_\_\_\_ Proposed \_\_\_\_\_  
 Building Sewer Size \_\_\_\_\_ Public Sewer \_\_\_\_\_ Private Septic \_\_\_\_\_  
 Water Service Size \_\_\_\_\_ Public Water \_\_\_\_\_ Private Well \_\_\_\_\_  
 Est. Cost of Plumbing Work \$ \_\_\_\_\_

## JOB SUMMARY (Office Use Only)

PLAN REVIEW		INSPECTIONS		Dates (Month/Day)	
		Type:	Failure	Approval	Initial
<input type="checkbox"/> No Plans Required		Slab			
Joint Plan Review Required:		Rough			
<input type="checkbox"/> Building <input type="checkbox"/> Electric		Water			
<input type="checkbox"/> Fire <input type="checkbox"/> Elevator		Sewer			
<input type="checkbox"/> Plumbing Plans Approved		Fixtures			
Date: <u>6/26/07</u>		Gas Equipment			
Approved by: <u>[Signature]</u>		Gas Piping			
SUBCODE APPROVAL		LPGas Tank			
<input type="checkbox"/> CO <input type="checkbox"/> CCO <input type="checkbox"/> CA		Fuel Oil Piping			
Date: _____		Solar			
Approved by: _____		TCO			

## C. CERTIFICATION IN LIEU OF OATH

I hereby certify that I am the agent/owner of record and am authorized to make this application and perform the work listed on this application.

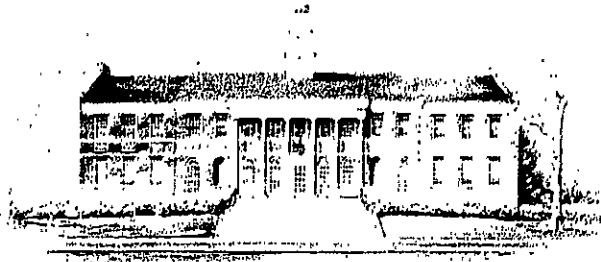
Applicant's Signature/Contractor's Seal and Signature  
 Licensed Plumbing Contractor  Exempt Applicant

Date Received Control # 7/2/07  
 Date Issued Permit # 2007-226

## D. TECHNICAL SITE DATA (List of all fixtures.)

NO.	FIXTURE/EQUIPMENT	FEE (Office Use Only)
	Water Closet	
	Urinal/Bidet	
	Bath Tub	
	Lavatory	
	Shower	
	Floor Drain	
	Sink	
	Dishwasher	
	Drinking Fountain	
	Washing Machine	
	Hose Bibb	
	Water Heater	
	Fuel Oil Piping	
	Gas Piping	
	LPGas Tank	
	Steam Boiler	
	Hot Water Boiler	
	Sewer Pump	
	Interceptor/Separator	
	Backflow Preventer	
	Greasetrap	
	Sewer Connection	
	Water Service Connection	
	Stacks	
	Other <u>RUNNER</u>	
	Other <u>CONDENSER</u>	
	Administrative Surcharge	\$
	Minimum Fee	\$
	State Permit Surcharge Fee	\$
	TOTAL FEE	\$ <u>160</u>

1 White = Inspector Copy  
 2 Canary = Office Copy  
 3 Pink = Office Copy  
 4 Gold = Applicant Copy



# *Township of Verona*

880 Bloomfield Avenue  
Verona, New Jersey 07044

OFFICE OF THE CONSTRUCTION OFFICIAL

Telephone: (973) 857-4834 Fax: (973) 857-5134

---

## TRANSMITTAL

---

**TO:** JIM HELB  
**FROM:** GLENN HAUSER, BUILDING DEPARTMENT  
**SUBJECT:** 175/177 GROVE AVENUE  
**DATE:** 26 JUNE 2007  
**ITEMS:** FOUNDATION LOCATION MAPS FOR 175 AND 177 GROVE AVENUE & SITE ENGINEER'S LETTER OF 4/30/07

---

Jim:

Attached please find foundation location maps for the above-referenced properties for your record. Also, please find letter from the site engineer regarding the retention system for your record for both sites.

Should you have any questions regarding this application, please do not hesitate to call.

Glenn

# McCUMSEY, LLC

ENGINEERING • SURVEYING • PLANNING • INSPECTION  
36 Depot Street, Verona, NJ 07044

April 30, 2007

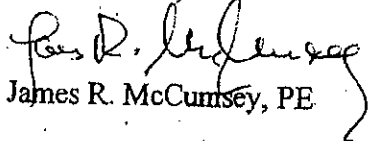
Mr. James Helb, PE,LS,PP  
Municipal Engineer  
Township of Verona  
Commerce Court  
Verona, NJ 07044

Re: 175-177 Grove Avenue  
Verona, NJ  
RETENTION SYSTEMS

Dear Mr. Helb:

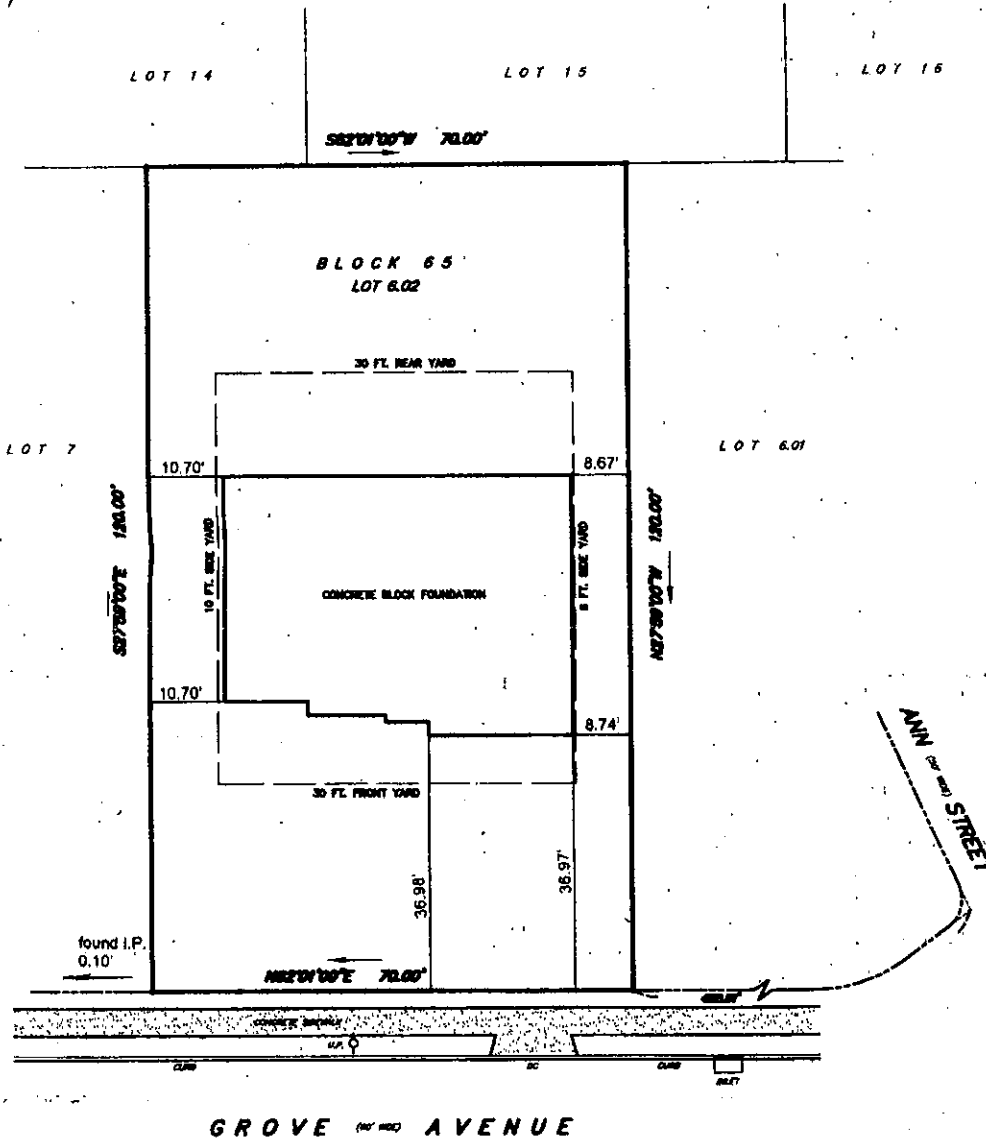
Pursuant to your request we inspected the retention systems under construction at the subject sites and found the observed materials and workmanship to be satisfactory.

Respectfully submitted  
McCUMSEY, LLC

  
James R. McCumsey, PE

# FOUNDATION LOCATION MAP

PREPARED FOR  
 177 GROVE AVENUE  
 TOWNSHIP OF VERONA  
 ESSEX COUNTY NEW JERSEY



GROVE AVENUE

	<b>McCUMSEY, LLC</b> ENGINEERING • SURVEYING • PLANNING • INSPECTION 36 DEPOT STREET VERONA NEW JERSEY TEL: (973) 857-2281 (973) 439-4043	Designer: JRMc
		Draftsman: MDC
		Checked By: JRMc
		Project No.: 506
		Scale: 1" = 20'
		Sheet 1 of 1
<b>JAMES R. McCUMSEY-PE, PLS</b> N.J. PROFESSIONAL ENGINEER LIC. No. 11766 N.J. PROFESSIONAL LAND SURVEYOR LIC. No. 11766 DATE: 05-31-07		

# **Tuli Realty, LLC.**

**Licensed Real Estate Brokers/Builders**

P. O. Box 333

316 Eisenhower Parkway, Suite 201

Livingston, New Jersey 07039

Telephone: (973) 535-9000 Facsimile: (973) 535-9005

[tulirealty1@comcast.net](mailto:tulirealty1@comcast.net)

June 13, 2007

Township of Verona  
880 Bloomfield Avenue  
Verona, New Jersey 07044  
Attention: Glenn Hauser, Constructional Official

Re: 175 Grove Avenue, Verona  
Block 65 Lot 6.01  
177 Grove Avenue, Verona  
Block 65 Lot 6.02

Dear Mr. Hauser:

Attached please find additional copies of the Foundation Surveys along with a copy of the letter from the engineer about the retention systems.

If you have any questions, please feel free to call.

Thank you,



Madhvi Miglani - Bhatia  
Office Manager



PLUMBING SUBCODE  
TECHNICAL SECTION

A. IDENTIFICATION-APPLICANT: COMPLETE ALL APPLICABLE INFORMATION. WHEN CHANGING CONTRACTORS, NOTIFY THIS OFFICE. CALL UTILITY DIG NO: 1-800-272-1000.

Block 65 Lot 6.0 Qualification Code \_\_\_\_\_  
Work Site Location 177 Grace Avenue  
Owner in Fee: Tuni Realty, LLC e-mail \_\_\_\_\_  
Tel. ( 973 ) 535-9000 e-mail Sandytuli@Comcast.net  
Address 316 Eisenhower Parkway Livingston, N.J. 07039  
Contractor: Self Tel. ( 973 ) 535-9000  
Address \_\_\_\_\_ e-mail \_\_\_\_\_  
Contractor License No. 19U402168000 Exp. Date 12/31/2007  
Federal Employee No. 22-3517342 FAX: ( 973 ) 535-9005

B. PLUMBING CHARACTERISTICS

Use Group \_\_\_\_\_ Present \_\_\_\_\_ Proposed \_\_\_\_\_  
Building Sewer Size \_\_\_\_\_ Public Sewer \_\_\_\_\_ Private Septic \_\_\_\_\_  
Water Service Size \_\_\_\_\_ Public Water \_\_\_\_\_ Private Well \_\_\_\_\_  
Est. Cost of Plumbing Work \$ 15,000

JOB SUMMARY (Office Use Only)

PLAN REVIEW	INSPECTIONS	Dates (Month/Day)
<input type="checkbox"/> No Plans Required	Type:	Failure Approval Initial
<input type="checkbox"/> Building <input type="checkbox"/> Electric	Slab	
<input type="checkbox"/> Fire <input type="checkbox"/> Elevator	Rough	
<input checked="" type="checkbox"/> Plumbing Plans Approved	Water	
Date: <u>9/24/07</u>	Sewer	
Approved by: <u>[Signature]</u>	Fixtures	
SUBCODE APPROVAL	Gas Equipment	
<input type="checkbox"/> CO <input type="checkbox"/> CCO <input type="checkbox"/> CA	Gas Piping	
Date: _____	LPGas Tank	
Approved by: _____	Fuel Oil Piping	
	Solar	
	TCO	

C. CERTIFICATION IN LIEU OF OATH

I hereby certify that I am the (agent of) owner of record and am authorized to make this application and perform the work listed on this application.

Applicant's Signature/Contractor's Seal and Signature  
[Signature]  
 Licensed Plumbing Contractor  Exempt Applicant

U.C.C. F130  
(rev. 05/05)

1 White = Inspector Copy  
2 Canary = Office Copy  
3 Pink = Office Copy  
4 Gold = Applicant Copy

Reorder from OCS Printing (609) 388-4375

Date Received 7/2/07  
Control # \_\_\_\_\_  
Date Issued \_\_\_\_\_  
Permit # 2007 225

D. TECHNICAL SITE DATA (List of all fixtures.)

FIXTURE/EQUIPMENT

NO.	FIXTURE/EQUIPMENT	FEE (Office Use Only)
	Water Closet	
	Urinal/Bidet	
	Bath Tub	
	Lavatory	
	Shower	
	Floor Drain	
	Sink	
	Dishwasher	
	Drinking Fountain	
	Washing Machine	
	Hose Bibb	
	Water Heater	
	Fuel Oil Piping	
	Gas Piping	
	LPGas Tank	
	Steam Boiler	
	Hot Water Boiler	
	Sewer Pump	
	Interceptor/Separator	
	Backflow Preventer	
	Greasetrap	
	Sewer Connection	
	Water Service Connection	
	Stacks	
	Other <u>Furnace</u>	
	Other <u>Condenser</u>	
	Administrative Surcharge \$	
	Minimum Fee \$	
	State Permit Surcharge Fee \$	
	TOTAL FEE \$	<u>160</u>



# PLUMBING SUBCODE TECHNICAL SECTION



A. IDENTIFICATION-APPLICANT: COMPLETE ALL APPLICABLE INFORMATION. WHEN CHANGING CONTRACTORS, NOTIFY THIS OFFICE. CALL UTILITY DIG NO: 1-800-272-1000.

Block 65 Lot 6.0 Qualification Code \_\_\_\_\_  
 Work Site Location 177 Grove Avenue  
 Owner In Fee: Tuni Realty, LLC e-mail Sandytuli@Comcast.net  
 Tel. (973) 535-9000 Address 316 Eisenhower Parkway Municipality Livingston, N.J. 07039 zip code  
 Contractor: Self Tel. (973) 535-9000  
 Address \_\_\_\_\_ e-mail \_\_\_\_\_  
 Contractor License No. 19VH2168000 Exp. Date 12/31/2007  
 Federal Employee No. 22-3517342 FAX: (973) 535-9000

## B. PLUMBING CHARACTERISTICS

Use Group Present \_\_\_\_\_ Proposed \_\_\_\_\_  
 Building Sewer Size \_\_\_\_\_ Public Sewer \_\_\_\_\_ Private Septic \_\_\_\_\_  
 Water Service Size \_\_\_\_\_ Public Water \_\_\_\_\_ Private Well \_\_\_\_\_  
 Est. Cost of Plumbing Work \$ 15,000

## JOB SUMMARY (Office Use Only)

PLAN REVIEW	INSPECTIONS	Dates (Month/Day)	Initial
<input type="checkbox"/> No Plans Required	Type:	Failure	Approval
<input type="checkbox"/> Building <input type="checkbox"/> Electric	Slab		
<input type="checkbox"/> Fire <input type="checkbox"/> Elevator	Rough		
<input checked="" type="checkbox"/> Plumbing Plans Approved	Water		
Date: <u>6/24/07</u>	Sewer		
Approved by: <u>[Signature]</u>	Fixtures		
SUBCODE APPROVAL	Gas Equipment		
<input type="checkbox"/> CO <input type="checkbox"/> CCO <input type="checkbox"/> CA	Gas Piping		
Date: _____	LPGas Tank		
Approved by: _____	Fuel Oil Piping		
	Solar		
	TCO		

## C. CERTIFICATION IN LIEU OF OATH

I hereby certify that I am the (agent of) owner of record and am authorized to make this application and perform the work listed on this application.

Applicant's Signature/Contractor's Seal and Signature  
[Signature]

Licensed Plumbing Contractor  Exempt Applicant

Date Received 7/2/07  
 Control # \_\_\_\_\_  
 Date Issued \_\_\_\_\_  
 Permit # 2007 225

## D. TECHNICAL SITE DATA (List of all fixtures.)

NO.	FIXTURE/EQUIPMENT	FEE (Office Use Only)
	Water Closet	
	Urinal/Bidet	
	Bath Tub	
	Lavatory	
	Shower	
	Floor Drain	
	Sink	
	Dishwasher	
	Drinking Fountain	
	Washing Machine	
	Hose Bibb	
	Water Heater	
	Fuel Oil Piping	
	Gas Piping	
	LPGas Tank	
	Steam Boiler	
	Hot Water Boiler	
	Sewer Pump	
	Interceptor/Separator	
	Backflow Preventer	
	Greasetrap	
	Sewer Connection	
	Water Service Connection	
	Stacks	
	Other <u>Furnace</u>	
	Other <u>Condenser</u>	
	Administrative Surcharge \$	
	Minimum Fee \$	
	State Permit Surcharge Fee \$	
	TOTAL FEE \$	<u>160</u>

1 White = Inspector Copy  
 2 Canary = Office Copy  
 3 Pink = Office Copy  
 4 Gold = Applicant Copy

U.C.C. F130  
 (rev. 05/05)

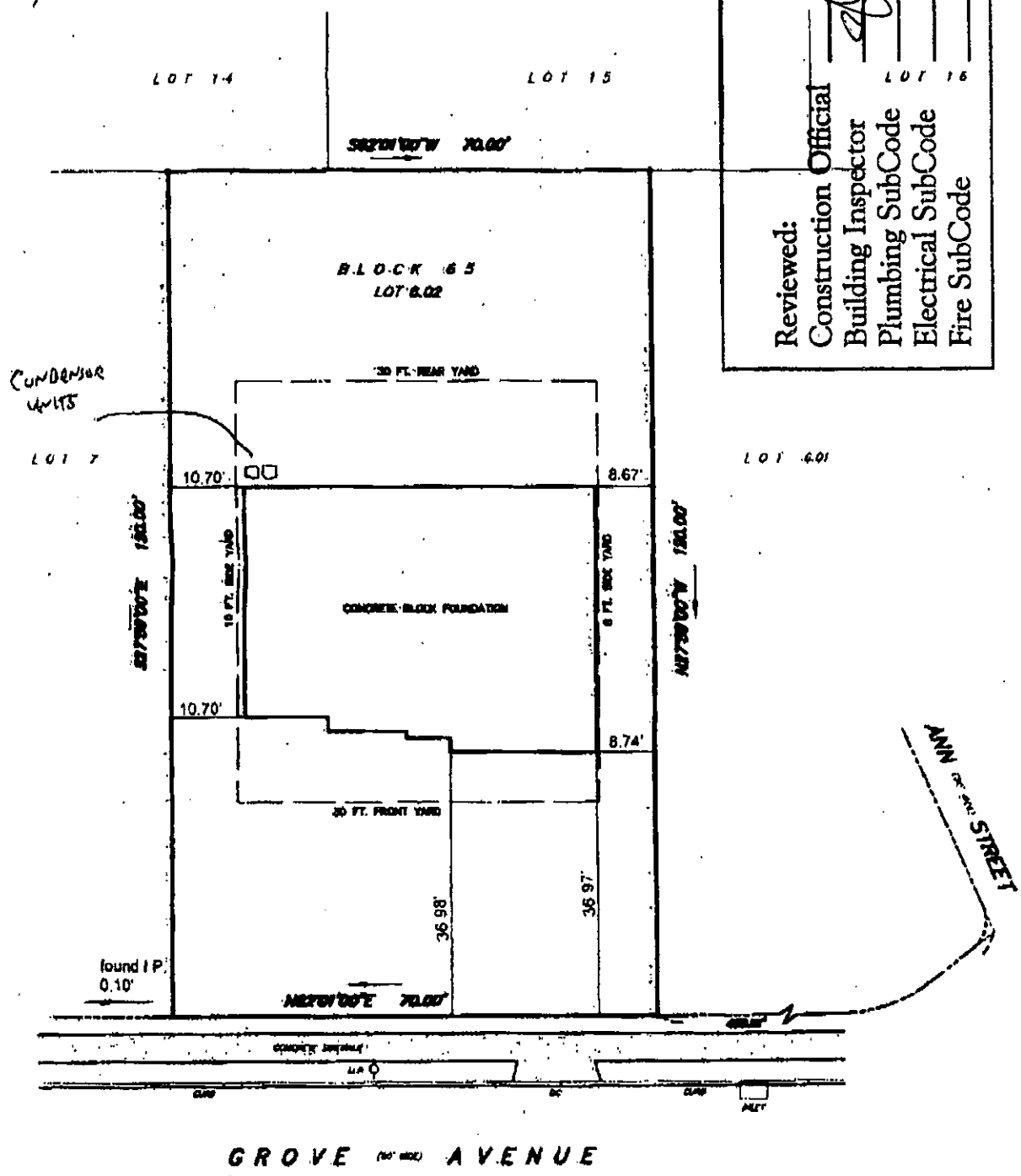
Recorder from OCS Printing (609) 398-4375

# CONDENSOR LOCATION MAP

PREPARED FOR  
177 GROVE AVENUE  
TOWNSHIP OF VERONA  
ESSEX COUNTY NEW JERSEY



Date	6/26/07
Reviewed:	<i>[Signature]</i>
Construction Official	
Building Inspector	
Plumbing SubCode	
Electrical SubCode	
Fire SubCode	



GROVE AVENUE



# CONDENSOR LOCATION MAP

PREPARED FOR  
175 GROVE AVENUE  
TOWNSHIP OF VERONA  
ESSEX COUNTY NEW JERSEY



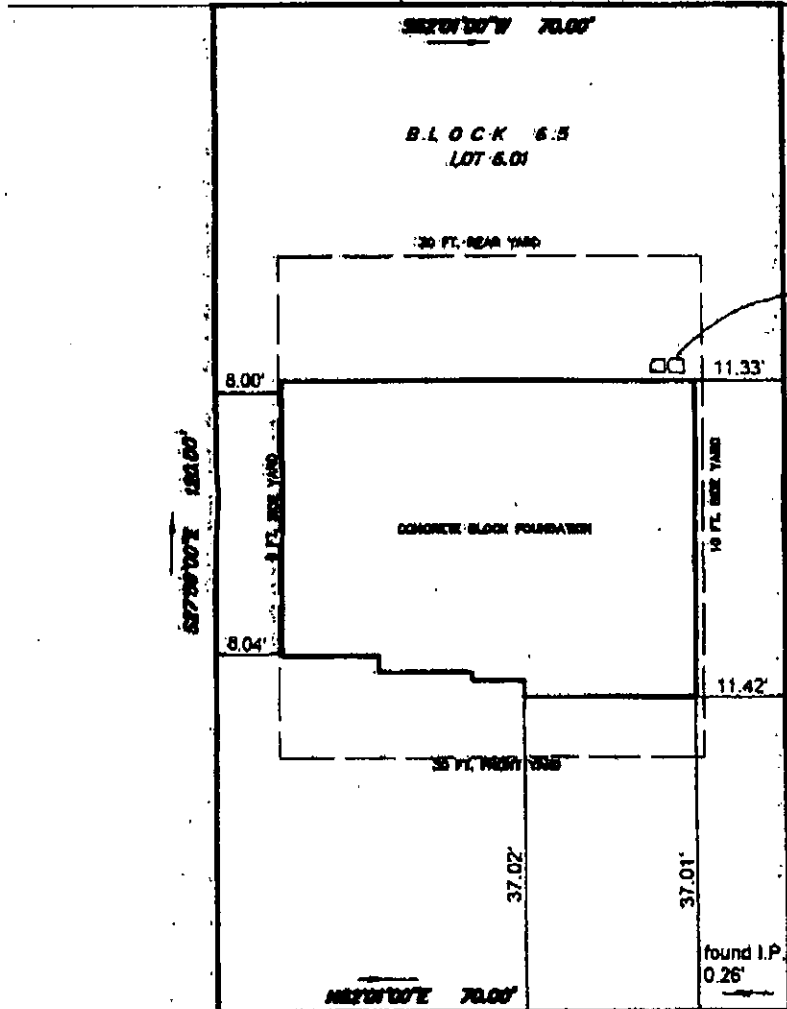
LOT 15

LOT 18

Date

6/26/07

Reviewed: \_\_\_\_\_  
 Construction Official \_\_\_\_\_  
 Building Inspector \_\_\_\_\_  
 Plumbing SubCode \_\_\_\_\_  
 Electrical SubCode \_\_\_\_\_  
 Fire SubCode \_\_\_\_\_



CONDENSOR UNIT

LOT 5

ANN STREET

GROVE AVENUE



August 8, 2007  
Town of Verona – Building Dept.  
Building official,  
600 Bloomfield Ave.  
Verona . NJ 07044

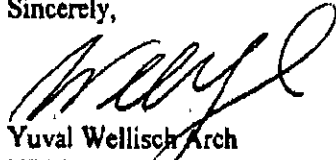
Re: **Single family Homes at**  
**175 Grove avenue, Verona**  
**177 Grove Avenue, Verona**

Dear Sir,

This letter shall authorize changes to the construction plans of a single family home at the above mentioned location, previously submitted to your department.

1. The substitution of the IB400 and IB600 for the TJI series is acceptable.
2. The stair framing at the bottom of the basement steps acceptable.
3. The two dining room ceiling joists will be doubled and therefore the plumbing box framing is acceptable.
4. The tray ceiling framing is acceptable.

Sincerely,

  
Yuval Wellisch Arch  
NJ license #14910

<b>RECEIVED</b>	
Reviewed:	Date
Construction Official	_____
Building Inspector	_____ <i>gh</i> _____
Plumbing SubCode	_____
Electrical SubCode	_____
Fire SubCode	_____

\\A-w\hd\office\Correspondence\00-Townships\Verona\8-8-07 Letter to Twp Verona.doc



Hudson, Essex & Passaic Soil  
 Conservation District  
 15 Bloomfield Avenue  
 North Caldwell, NJ 07006  
 (973)364-0786  
 Fax (973)364-0784



State Soil Conservation  
 Committee

RECEIVED  
*R. [unclear]*

**REPORT OF COMPLIANCE**

This certifies that the Soil Erosion and Sediment Control measures to the extent indicated comply with the Soil Erosion and Sediment Control Plans as certified by the Soil Conservation District pursuant to Chapter 251, P.L. 1975 as amended, the Soil Erosion and Sediment Control Act, (NJSA 4:24-39 et seq.)

Municipality: *Verona*  
 Project Name: *175-177 Grove Ave. Project* SCD Application No: *207-E-2942*  
 Block(s): *65* Lot(s): *6.01* Street Address: *175 + 177 Grove Avenue*  
 Block(s): Lot(s): *6.02* Street Address:

CONDITIONAL COMPLIANCE\* (CRC)  REPORT OF COMPLIANCE - NO CONDITIONS (ROC)

Date: *10/10/07* Signature of District Official: *[Signature]*

**\*CONDITIONS:**

1. Establishment of permanent stabilization of all disturbed areas in accordance with the certified soil erosion and sediment control plan.

Conditions above must be satisfied no later than

FINAL REPORT OF COMPLIANCE  
 (invalid if checked in addition to the CRC and/or ROC boxes unless authorized by district official)

Date: *10/10/07* Signature of District Official: *[Signature]*  
 Distribution:  
 Municipal Construction Office, Developer/Owner, District, Other



**Hudson, Essex & Passaic Soil  
Conservation District**  
**15 Bloomfield Avenue**  
**North Caldwell, NJ 07006**  
**(973)364-0786**  
**Fax (973)364-0784**



State Soil Conservation  
Committee

**REPORT OF COMPLIANCE**

This certifies that the Soil Erosion and Sediment Control measures to the extent indicated comply with the Soil Erosion and Sediment Control Plans as certified by the Soil Conservation District pursuant to Chapter 251, P.L. 1975 as amended, the Soil Erosion and Sediment Control Act, (NJSA 4:24-39 et seq.)

Municipality: *Verona*  
 Project Name: *175-177 Grove Ave. Project*      SCD Application No: *207-E-2942*  
 Block(s): *65*      Lot(s): *6.01*      Street Address: *175 + 177 Grove Avenue*  
 Block(s):      Lot(s): *6.02*      Street Address:

CONDITIONAL COMPLIANCE\* (CRC)       REPORT OF COMPLIANCE - NO CONDITIONS (ROC)

Date: *10/10/07*      Signature of District Official: *[Signature]*

**\*CONDITIONS:**

1. Establishment of permanent stabilization of all disturbed areas in accordance with the certified soil erosion and sediment control plan.

Conditions above must be satisfied no later than

**FINAL REPORT OF COMPLIANCE**  
 (invalid if checked in addition to the CRC and/or ROC boxes unless authorized by district official)

Date: *10/10/07*      Signature of District Official: *[Signature]*

Distribution:  
Municipal Construction Office, Developer/Owner, District, Other



**TULI REALTY, LLC**  
**LICENSED REAL ESTATE BROKERS/BUILDERS**  
**P.O. BOX 333**  
**316 EISENHOWER PARKWAY, SUITE 201**  
**LIVINGSTON, NEW JERSEY 07039**  
**TULIREALTY@COMCAST.NET**  
**TELEPHONE 973.535.9000 FACSIMILE: 973.535.9005**

**FACSIMILE TRANSMITTAL SHEET**

<b>TO:</b>	<b>FROM:</b>
Glen Hauser, Construction Official	Mr. Sandy Tuli
<b>COMPANY:</b>	<b>DATE:</b>
Verona Building Dept.	10/10/2007
<b>FAX NUMBER:</b>	<b>TOTAL NO. OF PAGES INCLUDING COVER:</b>
973-857-5134	2
<b>PHONE NUMBER:</b>	<b>Sender's reference number:</b>
<b>Re: 175 &amp; 177 Grove Avenue</b>	<b>YOUR REFERENCE NUMBER:</b>
<b>HEP-Report of Compliance</b>	<b>Permit # 2007-225/2007-226</b>

**URGENT FOR REVIEW      PLEASE COMMENT      PLEASE REPLY      PLEASE RECYCLE**

**NOTES/COMMENTS:**

This message is intended only for the use of the individual or entity named above. It contains confidential information and may contain privileged information between the parties. If the reader of this message is not the intended recipient, you are hereby notified that any unauthorized use, dissemination, distribution, or copying of this communication is strictly prohibited. If you have received this communication in error, please immediately notify the sender by telephone and return the original message to the address indicated above via the United States Postal Service. Thank you.

# McCUMSEY, LLC

ENGINEERING • SURVEYING • PLANNING • INSPECTION

36 Depot Street, Verona, NJ 07044

October 16, 2007

Thomas Jacobsen  
Building Inspector  
Township of Verona  
Linn Drive  
Verona, NJ 07044

Re: 175-177 Grove Avenue  
Verona, NJ  
SITE DRAINAGE

Dear Mr. Jacobsen

Pursuant to your request I attended a field meeting at the subject site and met with you and James Helb, PE,LS,PP and Sandy Tulli / Sam Tulli, owners of the site. The agenda was to investigate the cause of excessive storm water runoff from the site as described in a letter from neighbors adjacent to the site (dated August 21, 2007). The area of concern is reported to be at the right rear corner of 175 Grove Avenue.

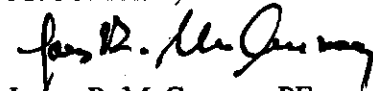
During the site visit we reviewed the Site Plan and noted that the contractor had constructed the site in accordance with the plans.

Prior to construction, all of the storm water runoff drained diagonally from left front to right rear. The site has now been constructed so that none of the storm water runoff from the roof tops is discharged on to the ground. About half of that runoff is directed to the retention system and the balance is directed to the storm water inlet located at the curb line of Grove Avenue. This design has reduced the amount of storm water that sheet flows from the site.

We found no evidence of storm water damage or heavy flows. We do note that the complaint letter was dated August 21, 2007 and the construction and connection of the storm water management facilities was not completed until the end of September. Hence, we do not expect any adverse surface runoff from the site. Furthermore, the hydrographic conditions will improve as the newly planted site vegetation matures.

Please call if you have any questions or comments.

Respectfully submitted  
McCUMSEY, LLC

  
James R. McCumsey, PE

# McCUMSEY, LLC

ENGINEERING • SURVEYING • PLANNING • INSPECTION

36 Depot Street, Verona, NJ 07044

October 19, 2007

Thomas Jacobsen  
Building Inspector  
Township of Verona  
Linn Drive  
Verona, NJ 07044

Re: 175-177 Grove Avenue  
Verona, NJ  
BUILDING HEIGHTS

Dear Mr. Jacobsen

I field measured the height of the subject houses from finished first floor to highest peak and then established the average ground elevation around the perimeter of each house based upon the original ground topographic survey in accordance with the local ordinance.

I find the following:

House # 175

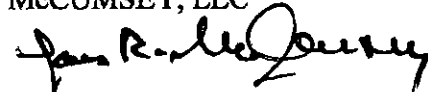
Building dimension f/f to peak	25.9'
f/f elevation	+ <u>102.5'</u>
Peak elevation	128.4'
Original ground elevation	- <u>98.6'</u>
Building height by ordinance	29.8'

House # 177

Building dimension f/f to peak	25.9'
f/f elevation	+ <u>103.7'</u>
Peak elevation	129.6'
Original ground elevation	- <u>100.1'</u>
Building height by ordinance	29.5'

Maximum building height by ordinance = 30'

Respectfully submitted  
McCUMSEY, LLC



James R. McCumsey, PE

August 21, 2007

Mr. T. Jacobsen  
Township of Verona  
600 Bloomfield Avenue  
Verona, NJ 07044

Dear Mr. Jacobsen,

Re: Water Run Off-175 and 177 Grove Avenue  
Verona, NJ

Regarding the above, as instructed by Mr. J. Helb in my telephone conversation with him on August 13, 2007, my husband and I along with the undersigned neighbors, are requesting that a certificate of occupancy not be granted to the properties listed unless and until all parties are satisfied with the handling of the water run off from these properties. This run off resulted in huge puddles and soggy ground which we have never had prior to the construction at 175 and 177 Grove Avenue.


As I explained in our telephone conversation, it was at least 36 hours after the last rain before the run off from 175 and 177 Grove Avenue had subsided. Prior to that time, the run off from the mentioned property crossed through 173 Grove Avenue down into our property at 10 Ann Street and into 8 Ann Street. The run off also could be seen at the curb drain of 12 Ann Street.

If you have any questions, please contact me at 973-239-3175.

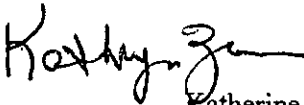
Thank you.



Brenda & Rick Lodato  
10 Ann Street



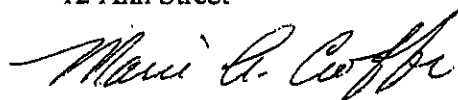
Nelson & Maria Colon  
173 Grove Avenue



Katherine & Charles Zaccone  
8 Ann Street



Marie Cioffi  
12 Ann Street



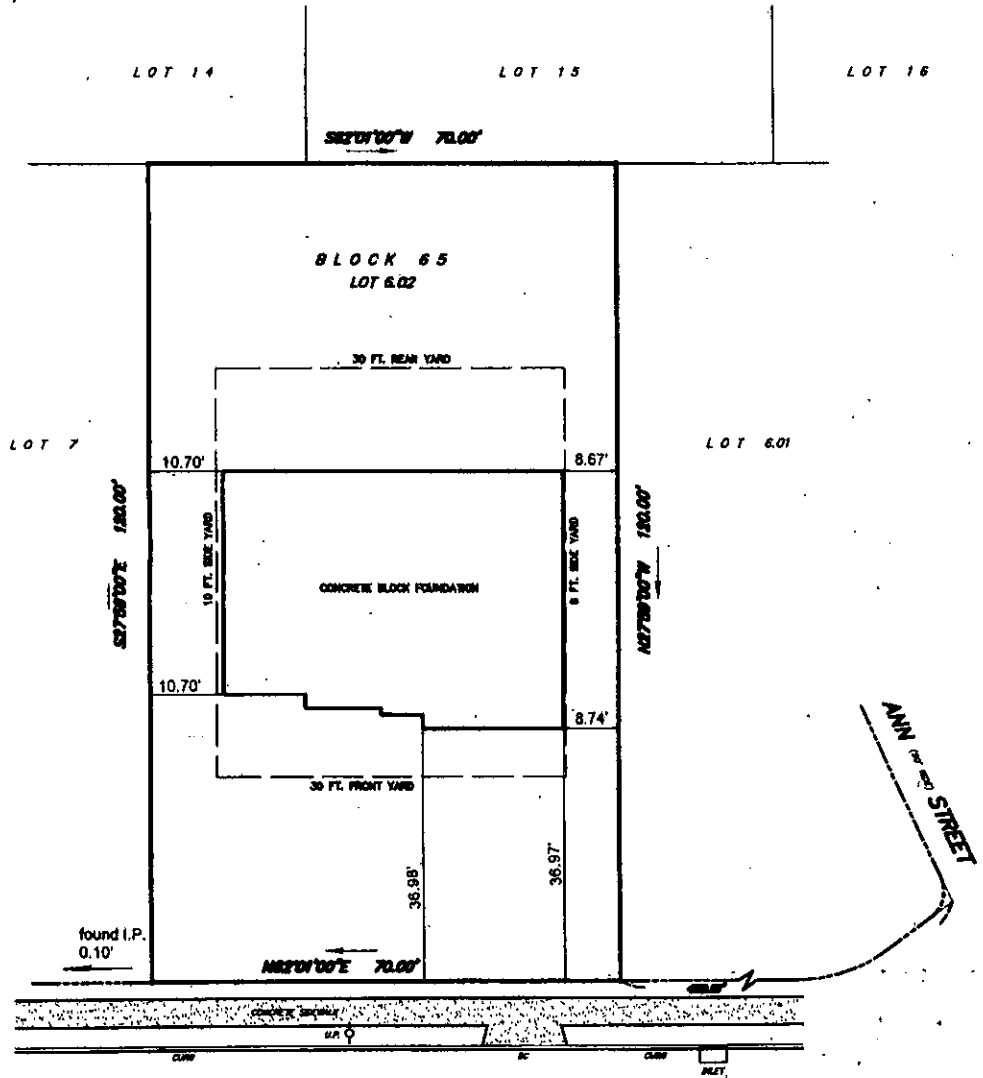
CC: J.Helb  
Township of Verona



# FOUNDATION LOCATION MAP



PREPARED FOR  
 177 GROVE AVENUE  
 TOWNSHIP OF VERONA  
 ESSEX COUNTY NEW JERSEY

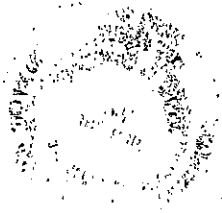
FILE  
 177 GROVE



GROVE AVENUE

	<b>McCUMSEY, LLC</b> ENGINEERING • SURVEYING • PLANNING • INSPECTION 36 DEPOT STREET VERONA, NEW JERSEY TEL: (973) 257-2281 / (973) 235-4043	Designer: JRMc
		Draftsman: MDC
<b>JAMES R. McCUMSEY-PE, PLS</b> N.J. PROFESSIONAL ENGINEER LIC. No. 11756 N.J. PROFESSIONAL LAND SURVEYOR LIC. No. 11766 DATE: 05-31-07	Checked By: JRMc	Project No.: 506
	Scale: 1" = 20'	Sheet 1 of 1

Reviewed:		Date
Construction Official		6/12/07
Building Inspector		6/12/07
Plumbing SubCode	_____	_____
Electrical SubCode	_____	_____
Fire SubCode	_____	_____



177 Crown Avenue, Verona

PERMIT # 2007-225

LOT: 6.0 BLOCK: 65

# FRAMING CHECKLIST

Instructions: Builder or Builder's representative checks boxes marked 'B'. Building Inspector checks boxes marked 'I'. Responsible Person in Charge of Work signs, initials and dates in spaces provided. Building Inspector initials and dates in spaces provided.

NOTE: ALL ITEMS SHOULD BE AS SHOWN ON THE PLANS OR AS REQUIRED BY CODE.

## A. BASEMENT OR CRAWL SPACE

### 1. ANCHORAGE:

BOLTS

SPACING

SIZE

STRAPS

SPACING (PER MANUFACTURER'S SPECS)

SIZE

### 2. SILL PLATES:

SIZE

GRADE, SPECIES

TREATMENT

LAPS

SILL SEALER

PROPER TREATMENT OVER FOUNDATION OPENINGS (BEARING OF JOIST)

TERMITE PROTECTION

### 3. BEAM POCKETS:

BEARING/SHIMS

TERMITE PROTECTION OR CLEARANCE

### 4. COLUMNS:

SIZED PER PLAN

ATTACHMENT/PLATES

SPACING/LOCATION

PAINT/COATING

## B. FLOOR FRAMING AND FLOORING

### 1. BOX OR RIM JOIST, OR PERIMETER BAND JOIST:

1<sup>ST</sup> FLOOR

SIZED PER PLAN

TYPE

GRADE, SPECIES

SINGLE OR DOUBLE

PRE-ENGINEERED PER MANUFACTURER'S SPECS

CANTILEVERS AS PER DESIGN

### 3. FLOOR JOIST:

1<sup>ST</sup>

SIZED PER PLAN

GRADE, SPECIES

PRE-ENGINEERED COMPONENTS AS SPECIFIED

2<sup>ND</sup>

SIZED PER PLAN

GRADE, SPECIES

PRE-ENGINEERED COMPONENTS AS SPECIFIED

3<sup>RD</sup>

SIZED PER PLAN

GRADE, SPECIES

PRE-ENGINEERED COMPONENTS AS SPECIFIED

### 2. GIRDERS AND BEAMS:

SIZED PER PLAN

TYPE

GRADE, SPECIES

LOCATION AND RELATION TO THE PLAN

NAILING

ATTACHMENT SCHEDULE

BEARING

LAPPING

FLOOR

SIZED PER PLAN

GRADE, SPECIES

PRE-ENGINEERED COMPONENTS AS SPECIFIED

BEARING

NAILING

BRIDGING

CUTTING AND NOTCHING (AS PER CODE)

POINT LOADS - SUPPORTED AS PER PLAN

SPAN HANGERS

HEADERS

FRAMED OPENINGS

### 4. FLOORING, SHEATHING, OR DECKING:

1<sup>ST</sup>

MATERIAL

PANEL SPAN, THICKNESS

2<sup>ND</sup>

MATERIAL

PANEL SPAN, THICKNESS

3<sup>RD</sup>

MATERIAL

PANEL SPAN, THICKNESS

### 5. STAIR ATTACHMENT:

1<sup>ST</sup>

BEARING

NAILING

2<sup>ND</sup>

BEARING

NAILING

3<sup>RD</sup>

BEARING

NAILING

### SPECIAL REQUIREMENTS

EDGE BLOCKING (IF REQUIRED)

GAPPING

LAYOUT

I hereby certify that I inspected this building using this checklist and it conforms to the released plans and to the requirements of the Uniform Construction Code, N.J.A.C. 5:23.

Responsible Person in Charge of Work: *[Signature]* Date: 7/31/07

Building Inspector Initials: *[Signature]*

Date: 7/31/07

177 Gove Avenue, Verona  
 LOT: 6.0 BLOCK: 65

PERMIT # 2007-225

**C. WALL FRAMING**

**1. EXTERIOR WALL FRAMING:**

1 <sup>ST</sup>	2 <sup>ND</sup>	3 <sup>RD</sup>	FLOOR
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	SIZE
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	SPACE
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	SPECIES AND GRADE
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	CUTTING, NOTCHING, AND BORING
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	HEADER SIZES
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	JACK STUD BEARING
TOP PLATES			
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	NAILING
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	LAPS
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	RAFTER TIES
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	HURRICANE STRAPS (AS REQUIRED)

**2. INTERIOR LOAD-BEARING WALLS:**

1 <sup>ST</sup>	2 <sup>ND</sup>	3 <sup>RD</sup>	FLOOR
<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	SIZE
<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	SPACE
<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	LAYOUT - SUPPORT BELOW PER CODE
<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	SPECIES AND GRADE
<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	CUTTING, NOTCHING, AND BORING
<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	FIRE BLOCKING
<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	HEADER SIZES
<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	JACK STUD BEARING
TOP PLATES			
<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	NAILING
<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	LAPS
<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	STRAPPING

**3. INTERIOR NON-LOAD-BEARING WALLS:**

1 <sup>ST</sup>	2 <sup>ND</sup>	3 <sup>RD</sup>	FLOOR
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	SIZE
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	SPACE
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	SPECIES AND GRADE
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	CUTTING, NOTCHING, AND BORING
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	FIRE BLOCKING
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	HEADER SIZES
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	TOP PLATE NAILING

**D. ROOF FRAMING**

**1. TRUSS ROOF FRAMING (AS PER DESIGN):**

APPROVED DOCUMENTS WHICH SHOW:

<input type="checkbox"/>	LAYOUT PLANS
<input type="checkbox"/>	TRUSS MEMBERS
<input type="checkbox"/>	CONNECTION SCHEDULE
<input type="checkbox"/>	PERMANENT BRACING DETAILS
<input type="checkbox"/>	DORMERS/ROOF STRUCTURES ON MANUFACTURER'S DRAWINGS
<input type="checkbox"/>	EQUIPMENT/APPLIANCES ON MANUFACTURER'S DRAWINGS

**2. PERMANENT TRUSS-TO-TRUSS BRACING (AS PER DESIGN):**

<input type="checkbox"/>	LAYOUT
<input type="checkbox"/>	SIZE
<input type="checkbox"/>	TYPE
<input type="checkbox"/>	NAILING
<input type="checkbox"/>	OVERLAP
<input type="checkbox"/>	TERMINATION
<input type="checkbox"/>	TRANSITION (I.E., CROSS) BRACING

**4. SOLID SAWN ROOF FRAMING:**

<input type="checkbox"/>	SIZE
<input type="checkbox"/>	GRADES, SPECIES
LAYOUT	
<input type="checkbox"/>	SPACING
<input type="checkbox"/>	SPAN
<input type="checkbox"/>	BEARING
<input type="checkbox"/>	FASTENING
<input type="checkbox"/>	DAMAGE CAUSED BY FASTENERS (RAFTERS NOT SPLIT BY TOENAILS)
<input type="checkbox"/>	CUTTING, NOTCHING, AND BORING
<input type="checkbox"/>	BRIDGING
<input type="checkbox"/>	RIDGE SIZE
<input type="checkbox"/>	HURRICANE TIES WHERE APPLICABLE

**3. GABLE END BRACING (AS PER DESIGN):**

<input checked="" type="checkbox"/>	LAYOUT
<input checked="" type="checkbox"/>	SIZE
<input checked="" type="checkbox"/>	TYPE
<input checked="" type="checkbox"/>	NAILING
<input checked="" type="checkbox"/>	OVERLAP
<input checked="" type="checkbox"/>	TERMINATION

**E. SHEATHING**

**1. SHEATHING - EXTERIOR WALLS:**

MATERIAL

<input checked="" type="checkbox"/>	PANEL SPAN, THICKNESS
SPECIAL REQUIREMENTS	
<input checked="" type="checkbox"/>	GAPPING
<input type="checkbox"/>	LAYOUT
<input type="checkbox"/>	CORNER BRACING (IF REQUIRED)

**2. SHEATHING - ROOF:**

MATERIAL

<input checked="" type="checkbox"/>	PANEL SPAN, THICKNESS
SPECIAL REQUIREMENTS	
<input checked="" type="checkbox"/>	BLOCKING, EDGE (IF REQUIRED)
<input type="checkbox"/>	GAPPING
<input type="checkbox"/>	LAYOUT
<input type="checkbox"/>	CLIPS (IF REQUIRED)

**SHEATHING, FRT - ROOF:**

<input type="checkbox"/>	FOUR FEET FROM FIREWALL
<input type="checkbox"/>	NONCORROSIVE FASTENERS

*[Handwritten Signature]*

TOWNSHIP OF VERONA

Date: 3/27/2007

To: Tom Jacobsen, Building Inspector

From: E.Romeo Longo, CTA, Municipal Tax Assessor

Re: C.O.A.H. (Council On Affordable Housing) Development Fee  
Chapter 150 of the code of the Township of Verona  
Adopted 12/19/2005 -- Ord. #22-05 (Amend.06/19/06)

Block: 65 Lot: 6.02

Location: 177 Grove Avenue

The above captioned property requires PARTIAL collection of the Development Fee at the time permits are issued by the Building Department for the amount of:

\*Amount \$ 3,325

The "Fee" is based upon an initial estimated assessment. The final assessment will be determined at project completion. Please notify the Assessor's Office once final inspections have been made by the Building Department.

Initial Estimated Equalized Assessment:	\$ 665,000
1 percent (Residential)	\$ 6,650
2 percent (Non-residential) (6% "D" Variance)	
Final Equalized Assessment (based upon C/O or C/A)	
1 percent (Residential)	\$ -
2 percent (Non-residential) (6% "D" Variance)	
Less: Intial Payment (50% @ time of permit)	\$ (3,325)
<b>**Final Amount due (At time C/O or C/A issued)</b>	<b>\$ 3,325</b>

\*Predicated upon applicant providing appropriate plans & specs, hard & soft costs and any additional information that may be required. Copies of leases or asking rents must be provided. Value estimate is subject to change.

\*\* Does not include Added Assessment (if any)

TOWNSHIP OF VERONA

Date: 3/27/2007  
To: Tom Jacobsen, Building Inspector  
From: E. Roméo Longo, CTA, Municipal Tax Assessor  
Re: C.O.A.H. (Council On Affordable Housing) Development Fee  
Chapter 150 of the code of the Township of Verona  
Adopted 12/19/2005 -- Ord. #22-05 (Amend.06/19/06)

Block: 65 Lot: 6.02

Location: 177 Grove Avenue

The above captioned property requires PARTIAL collection of the Development Fee at the time permits are issued by the Building Department for the amount of:

\*Amount \$ 3,325

The "Fee" is based upon an initial estimated assessment. The final assessment will be determined at project completion. Please notify the Assessor's Office once final inspections have been made by the Building Department.

Initial Estimated Equalized Assessment:	<u>\$ 665,000</u>
1 percent (Residential)	<u>\$ 6,650</u>
2 percent (Non-residential) (6% "D" Variance)	<u>                    </u>
Final Equalized Assessment (based upon C/O or C/A)	<u>                    </u>
1 percent (Residential)	<u>\$ -</u>
2 percent (Non-residential) (6% "D" Variance)	<u>                    </u>
Less: Initial Payment (50% @ time of permit)	<u>\$ (3,325)</u>
<b>**Final Amount due (At time C/O or C/A issued)</b>	<u><b>\$ 3,325</b></u>

\*Predicated upon applicant providing appropriate plans & specs, hard & soft costs and any additional information that may be required. Copies of leases or asking rents must be provided. Value estimate is subject to change.

\*\* Does not include Added Assessment (if any)

TOWNSHIP OF VERONA

3/27/2007

Date:

Tom Jacobsen, Building Inspector

To:

E. Romeo Longo, CTA, Municipal Tax Assessor

From:

C.O.A.H. (Council On Affordable Housing) Development Fee  
Chapter 120 of the code of the Township of Verona  
Adopted 12/15/06 -- Ord. #22-06 (Amend. 06/19/06)

Re:

Block: 65 Lot: 602

Location: 177 Grove Avenue

The above captioned property requires PARTIAL collection of the Development Fee at the time permits are issued by the Building Department for the amount of  
\*Amount \$ 3,355

The "Fee" is based upon an initial estimated assessment. The final assessment will be determined at project completion. Please notify the Assessor's Office once final inspections have been made by the Building Department.

Initial Estimated Equalized Assessment: \$ 665,000

1 percent (Residential): \$ 6,650

2 percent (Non-Residential) (8% "D" Variance): \_\_\_\_\_

Final Equalized Assessment (based upon CIO or CIA): \_\_\_\_\_

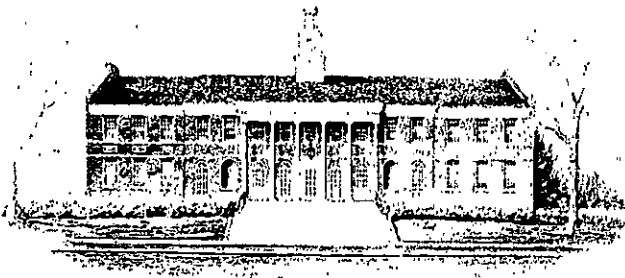
1 percent (Residential): \$ \_\_\_\_\_

2 percent (Non-Residential) (8% "D" Variance): \_\_\_\_\_

Less: Initial Payment (50% @ time of permit): \$ (3,325)

\*Final Amount due (At time CIO or CIA issued): \$ 3,355

\* Does not include Added Assessment (if any).  
Final amount due is based on the value of the property as determined by the Assessor's Office. The value of the property is subject to change.  
The amount due is based on the value of the property as determined by the Assessor's Office. The value of the property is subject to change.



# Township of Verona

880 Bloomfield Avenue  
Verona, New Jersey 07044

OFFICE OF THE CONSTRUCTION OFFICIAL

Telephone: (973) 857-4834 Fax: (973) 857-5134

**Date:** 20 December 2006  
**Subcode:** Building Review  
**Reviewer:** Glenn Hauser, Construction Official  
**Re:** 177 Grove Avenue Block 65, Lot 6.02

I have reviewed the revised plans dated 8/23/06 (rev 8/30/06) as prepared by the Architect for construction permit and make the following comments:

## ZONING APPROVAL

1. Submit site plan for review.

## PERMIT APPLICATION

2. Submit site plan/grading plan with new and existing topography, locations of roof drains and foundation drains, corner and finished floor elevations, walks, driveway, etc.
3. Submit letter of approval from Township Engineer.
4. Submit copy of approved HEP Soil Conservation permit for new construction.
5. Submit New Home Warranty license and license number.
6. Submit area and volume calculations, not accurate on drawings, application.

## A-1 & A-2

7. Indicate new and existing exterior grades accurately on building elevations.
8. Provide building height calculation in accordance with Zoning Ordinance.
9. Indicate 8" maximum height front landing to top of door threshold.
10. Show front steps and rear steps or deck, coordinate number or risers with plan, handrails/guards as may be required.

## A-3

11. Indicate 1/2" airspace at masonry beam pockets.
12. Indicate continuous graspable profile (2 5/8" max) handrail at basement stair, returned to wall at ends, indicate height.
13. If closet is created under Basement stair, interior must be sheetrocked.
14. Indicate riser height and tread depth for all stairs.

## A-4

15. Indicate continuous graspable profile (2 5/8" max) handrail at stair, returned at ends.
16. Indicate UL listed fireplace mfr/model no, and provide mfr. Cuts.

## A-5

17. Indicate continuous graspable profile (2 5/8" max) handrail at stair, returned at ends.
18. Indicate framing at attic access opening.
19. Indicate 1/2" min. attic floor.

## D-2

20. Typical detail for sill anchor straps should indicate straps spread in masonry to full width of sill plate, otherwise must be drilled thru center of sill plate.

Glenn Hauser  
Construction Official



Permit #
Permit Date



# REScheck Software Version 3.7.3 Compliance Certificate

**Project Title:** SINGLE FAMILY HOUSE

**Report Date:** 08/23/06

**Data filename:** H:\AI\works\T\Tull Realty\Tull - 06d22m - Lot 6.02\Energy Calc\06TL22M.rck

**Energy Code:** New Jersey Energy Subcode  
**Location:** Essex County, New Jersey  
**Construction Type:** Single Family  
**Glazing Area Percentage:** 12%  
**Heating Degree Days:** 5000

**Construction Site:**  
 BLOCK 65 LOT# 6.02  
 VERONA, NJ

**Owner/Agent:**  
 TULL REALTY

**Designer/Contractor:**  
 YUVAL WELLISCH  
 WELLISCH ARCHITECTS  
 1020 SPRINGFIELD AVENUE  
 MOUNTAINSIDE, NJ 07092  
 908 - 654 - 7900  
 WELLISCHHD@AOL.COM

**Compliance Passes**      Maximum UA: 695      Your Home UA: 669 --> 3.7% Better Than Code (UA)

Assembly	Gross Area or Perimeter	Cavity R-Value	Cont. R-Value	Glazing or Door U-Factor	UA
Ceiling 1: Flat Ceiling or Scissor Truss:	1379	30.0	0.0		48
Wall 1: Wood Frame, 16" o.c.:	1733	13.0	0.0		122
Window: 2'0" X 5'0" LE: Wood Frame, Double Pane with Low-E:	10			0.390	4
Window: 3'0" X 5'0" LE: Wood Frame, Double Pane with Low-E:	120			0.390	47
Window: 2'0" X 3'0" LE: Wood Frame, Double Pane with Low-E:	12			0.390	5
Door: 3'0" X 6'8": Solid:	20			0.340	7
Door: 1'0" X 6'8" SL: Solid:	13			0.340	5
Door: 6'0 X 6'8": Glass:	40			0.340	14
Door: 2'8" X 6'8": Solid:	36			0.340	12
Wall 2: Wood Frame, 16" o.c.:	1596	13.0	0.0		113
Window: 2'0" X 5'0" LE: Wood Frame, Double Pane with Low-E:	10			0.390	4
Window: 6'0" X 4'0" LE: Wood Frame, Double Pane with Low-E:	24			0.390	9
Window: HR 6'0" LE: Wood Frame, Double Pane with Low-E:	14			0.390	6
Window: 3'0" X 5'0" LE: Wood Frame, Double Pane with Low-E:	120			0.390	47
Window: 2'0" X 3'2" LE: Wood Frame, Double Pane with Low-E:	13			0.390	5
Window: 2'6" X 3'6" LE: Wood Frame, Double Pane with Low-E:	35			0.390	14
Basement 1: Masonry Block with Integral Insulation:	1450	4.0	0.0		140
Window: B-SASH LE: Wood Frame, Double Pane with Low-E:	19			0.390	7
Floor 1: All-Wood Joist/Truss, Over Unconditioned Space:	1379	30.0	0.0		46
Floor 2: All-Wood Joist/Truss, Over Outside Air:	435	30.0	0.0		14
Furnace 1: Forced Hot Air: 80 AFUE					
Boiler 1: Gas-Fired Steam: 75 AFUE					
Air Conditioner 1: Electric Central Air: 10 SEER					

**Compliance Statement:** The proposed building design described here is consistent with the building plans, specifications, and other calculations submitted with the permit application. The proposed building has been designed to meet the New Jersey Energy Subcode requirements in REScheck Version 3.7.3 and to comply with the mandatory requirements listed in the REScheck

Inspection Checklist

Builder/Designer

Project Notes:

YUVAL WELLISCH ARCH.  
NJ LIC. 14910

WELLISCH ARCHITECT LLC  
1020 SPRINGFIELD AVE. STE. 203  
MOUNTAINSIDE, NJ 07092

Company Name

Date

8/23/06

Permit #
Permit Date



# REScheck Software Version 3.7.3 Compliance Certificate

**Project Title:** SINGLE FAMILY HOUSE

**Report Date:** 08/23/06

**Data filename:** H:\Allworks\T\Tuli Realty\Tuli - 06tl22m - Lot 6.02\Energy Calc\06TL22M.rck

**Energy Code:** New Jersey Energy Subcode  
**Location:** Essex County, New Jersey  
**Construction Type:** Single Family  
**Glazing Area Percentage:** 12%  
**Heating Degree Days:** 5000

**Construction Site:**  
 BLOCK 65 LOT# 6.02  
 VERONA, NJ

**Owner/Agent:**  
 TULI REALTY

**Designer/Contractor:**  
 YUVAL WELLISCH  
 WELLISCH ARCHITECTS  
 1020 SPRINGFIELD AVENUE  
 MOUNTAINSIDE, NJ 07092  
 908 - 654 - 7900  
 WELLISCHHD@AOL.COM

Compliance: **Passes** Maximum UA: 695 Your Home UA: 669 -> 3.7% Better Than Code (UA)

Assembly	Gross Area or Perimeter	Cavity R-Value	Cont R-Value	Glazing or Door U-Factor	UA
Ceiling 1: Flat Ceiling or Scissor Truss:	1379	30.0	0.0		48
Wall 1: Wood Frame, 16" o.c.:	1733	13.0	0.0		122
Window: 2'0" X 5'0" LE: Wood Frame, Double Pane with Low-E:	10			0.390	4
Window: 3'0" X 5'0" LE: Wood Frame, Double Pane with Low-E:	120			0.390	47
Window: 2'0" X 3'0" LE: Wood Frame, Double Pane with Low-E:	12			0.390	5
Door: 3'0" X 6'8" Solid:	20			0.340	7
Door: 1'0" X 6'8" SL: Solid:	13			0.340	5
Door: 6'0" X 6'8" Glass:	40			0.340	14
Door: 2'8" X 6'8" Solid:	36			0.340	12
Wall 2: Wood Frame, 16" o.c.:	1596	13.0	0.0		113
Window: 2'0" X 5'0" LE: Wood Frame, Double Pane with Low-E:	10			0.390	4
Window: 6'0" X 4'0" LE: Wood Frame, Double Pane with Low-E:	24			0.390	9
Window: HR 6'0" LE: Wood Frame, Double Pane with Low-E:	14			0.390	6
Window: 3'0" X 5'0" LE: Wood Frame, Double Pane with Low-E:	120			0.390	47
Window: 2'0" X 3'2" LE: Wood Frame, Double Pane with Low-E:	13			0.390	5
Window: 2'6" X 3'6" LE: Wood Frame, Double Pane with Low-E:	35			0.390	14
Basement 1: Masonry Block with Integral Insulation:	1450	4.0	0.0		140
Window: B-SASH LE: Wood Frame, Double Pane with Low-E:	19			0.390	7
Floor 1: All-Wood Joist/Truss, Over Unconditioned Space:	1379	30.0	0.0		46
Floor 2: All-Wood Joist/Truss, Over Outside Air:	435	30.0	0.0		14
Furnace 1: Forced Hot Air: 80 AFUE					
Boiler 1: Gas-Fired Steam: 75 AFUE					
Air Conditioner 1: Electric Central Air: 14 SEER					

**Compliance Statement:** The proposed building design described here is consistent with the building plans, specifications, and other calculations submitted with the permit application. The proposed building has been designed to meet the New Jersey Energy Subcode requirements in REScheck Version 3.7.3 and to comply with the mandatory requirements listed in the REScheck

Inspection Checklist

Builder/Designer

Project Notes:

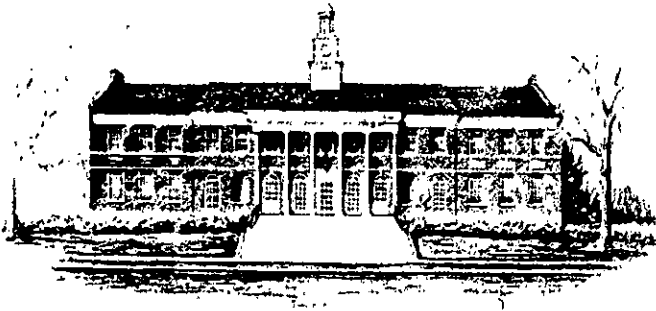
YUVAL WELLISCH ARCH.  
NJ LIC. 14910

WELLISCH ARCHITECT LLC  
1020 SPRINGFIELD AVE. STE. 203  
MOUNTAINSIDE, NJ 07092

Company Name

Date

8/23/06



# Township of Verona

#10 Commerce Court  
VERONA, NEW JERSEY 07044

OFFICE OF THE TOWNSHIP ENGINEER

Telephone: (973) 857-4803 Fax: (973) 239-7837

## Memorandum

For: Tom Jacobson, Building Inspector  
From: James M. Helb, Township Engineer  
Date: March 12, 2007  
Re: 175-177 Grove Avenue

I have reviewed the revised Plans and Drainage Reports submitted for the above application and prepared by James R. McCumsey, PE, LS and have the following comments:

1. The subdivision map must be filed with Essex County before any permits can be issued. Maps must be distributed to the Township Engineer's Office.
2. Approval from the Essex County Planning Board is required.
3. The applicant must have the plans reviewed and obtain a permit from Essex County since the plans show storm drainage connecting to the Essex County storm system.
4. A Road Opening Permit must be obtained from Essex County for installation of any utilities/services on Grove Avenue.
5. The applicant must obtain a permit from the Building Department to construct the modular block retaining wall on Lot 6.01.
6. The homeowners are responsible for maintaining the retention system and swales.
7. The applicant must obtain a permit from the HEP Soil Conservation District.
8. The applicant must comply with the requirements of the Affordable Housing Development Fee Ordinance.
9. The applicant is responsible for all sewer and water tie in fees.

# **Tuli Realty, LLC.**

**Licensed Real Estate Brokers/Builders**

P. O. Box 333

316 Eisenhower Parkway, Suite 201

Livingston, New Jersey 07039

Telephone: (973) 535-9000 Facsimile: (973) 535-9005

[tulirealty@comcast.net](mailto:tulirealty@comcast.net)

March 22, 2007

Township of Verona  
880 Bloomfield Avenue  
Verona, New Jersey 07044  
Attention: Glenn Hauser, Construction Official

Re: 175 Grove Avenue, Verona  
Block 65 Lot 6.01

177 Grove Avenue, Verona  
Block 65 Lot 6.02

Dear Mr. Hauser:

In regards to your letter dated December 20, 2006, please is advised of the following:

1. Zoning Approval- site plan attached
2. Site Plan with new and existing elevations attached
3. Township Engineer- letter dated March 12, 2007
  - a. Subdivision map filed with Essex County (copy of the approval letter dated January 30, 2006 attached)
  - b. Approval From Essex County- See item a. above
  - c. The grading plans have been submitted to Essex County- Mr. Jim Bartell (Business Card enclosed). The County has advised us to obtain all road opening permits at the time of the required work. The access permits have been granted and a copy has been attached. (Permit #D13192 and Permit #D13191).
  - d. Permit for the retaining modular block wall for lot 6.01 will be submitted prior to commencement of the wall work.
  - e. Homeowner will be informed of their responsibility of maintaining the swales and retention system and provided with a written plan
  - f. Application and Fee have been submitted to the H.E.P Soil Conversation district.
  - g. Affordable Housing Development Fee Ordinance. It is our understanding that we will be billed for half at the time of issuance of the permits and the balance at the issuance of the Certificate of Occupancy. Please advise if this is correct.
  - h. We intend on paying the sewer and water tie in fee.

4. H.E.P Permit submitted-will forward a copy of the permit once it is received from H.E.P.
5. New Home Warranty License #: 034936 expires 12/31/07 (copy attached)  
Contractor Registration #: 13VH02168000 expires 12/31/07 (copy attached)
6. Area calculations are now correct- See plans ✓
7. New and Existing Grade elevations on plans ✓
8. Building height calculations as per Ordinance-See building plan elevations with existing grade, and average grade and height. ✓
9. Door threshold shown on sheet A4 is 4" and will not be more than 8" ✓
10. Steps, Risers, Handrails-see plans ✓
11. 1/2" air space at beam pocket note-see plan ✓
12. 2 5/8" max handrail-see plans note # 1 ✓
13. Under stair closet-see plans note # 2 ✓
14. Riser height and tread depth-see plans ✓
15. Handrails-see plans- note #1 ✓
16. Fireplace brochure and specifications attached-see plans for note ✓
17. Handrail-See plans note # 1 ✓
18. Attic access framing-see plans ✓
19. 1/2" plywood min. on attic floor-see note #4 ✓
20. See plans for anchor strap detail ✓

Your requested note that all footings should be on virgin soil has also been added to the plans.

Plumbing-water supply isometric drawing attached, gas riser isometric drawing attached, HVAC-Duct Diagram attached.

All of Township's requirements should now be complete. Please advise if all the requirements have been satisfied

Very truly yours,



Sandy Tuli

**Tuli Realty, LLC.**

**Licensed Real Estate Brokers/Builders**

P. O. Box 333

316 Eisenhower Parkway, Suite 201

Livingston, New Jersey 07039

Telephone: (973) 535-9000 Facsimile: (973) 535-9005

tulirealty@comcast.net

March 27, 2007

**VIA FACSIMILE ONLY: (973) 857-5134**

Township of Verona

880 Bloomfield Avenue

Verona, New Jersey 07044

Attention: Glenn Hauser, Construction Official

Re: 175 Grove Avenue, Verona

Block 65 Lot 6.02

Water Service Size


*~ 1 1/2" Grove Ave*

Dear Mr. Hauser:

This will confirm our conversation, that the main water service to the new home will be a new 1" line.

If you have any other questions, please feel free to call.

Very truly yours,



Sandy Tuli



TULI REALTY, LLC  
LICENSED REAL ESTATE BROKERS/BUILDERS  
P.O. BOX 333  
316 EISENHOWER PARKWAY, SUITE 201  
LIVINGSTON, NEW JERSEY 07039  
TULIREALTY@COMCAST.NET  
TELEPHONE 973.535.9000 FACSIMILE: 973.535.9005

## FACSIMILE TRANSMITTAL SHEET

TO:	FROM:
Glen Hauser	Mr. Sandy Tuli
COMPANY:	DATE:
Township of Verona	3/27/2007
FAX NUMBER:	TOTAL NO. OF PAGES INCLUDING COVER:
973-857-5134	3
PHONE NUMBER:	SENDER'S REFERENCE NUMBER:
973-857-4836	
RE: 175 & 177 GROVE AVENUE	YOUR REFERENCE NUMBER:

URGENT FOR REVIEW PLEASE COMMENT PLEASE REPLY PLEASE RECYCLE

## NOTES/COMMENTS:

Dear Mr. Hauser:

I spoke to Jim Helb this morning and was advised to pay for the water service fee and permit at the time of "hookup".

The letter regarding the 1" main water service is attached.

This message is intended only for the use of the individual or entity named above. It contains confidential information and may contain privileged information between the parties. If the reader of this message is not the intended recipient, you are hereby notified that any unauthorized use, dissemination, distribution, or copying of this communication is strictly prohibited. If you have received this communication in error, please immediately notify the sender by telephone and return the original message to the address indicated above via the United States Postal Service. Thank you.

Sandy Tuli



OFFICE: (973) 226-8500 EXT. 248  
FAX: (973) 226-8507  
CELL: (973)  
MAIN: (973) 226-8506



**JIM BARTELL**  
**PERMIT COORDINATOR/PLANNING AID**

ESSEX COUNTY DIVISION OF ENGINEERING  
DEPT. OF PERMITS AND INSPECTIONS ENFORCEMENT UNIT  
900 BLOOMFIELD AVENUE  
VERONA, N.J. 07044

E-MAIL: [J.BARTELL@ESSEXCOUNTYNJ.ORG](mailto:J.BARTELL@ESSEXCOUNTYNJ.ORG)

Permit No. D. 13192

PERMIT FEE: \$35.00

Permit No. D. 13192

NOT VALID UNLESS COUNTERSIGNED BY THE COUNTY ENGINEER

Make out in Duplicate

# ESSEX COUNTY DEPARTMENT OF PUBLIC WORKS

900 BLOOMFIELD AVENUE, VERONA, N.J. 07044  
APPLICATION FOR ROAD OPENING, STORAGE PERMIT, ETC  
September 1, 2006

Tuli Realty LLC  
Verona, NJ 07099

Application is made by.....  
of..... 316 Eisenhower Parkway N.J. Livingston 07039  
For (Owner of Property)..... Same  
For permission to..... Ingress/Egress Site  
(State kind of permit and reason for same)

**\$170.00 Inspection Fee**

at..... 175 Grove Avenue..... Verona  
(House number)..... (Street)..... (City or town)

Between..... Ann..... Street, and..... Steven..... Street

Location of Main (Pipe)..... N/A  
Size of Opening..... N/a..... Approximate Depth..... N/A

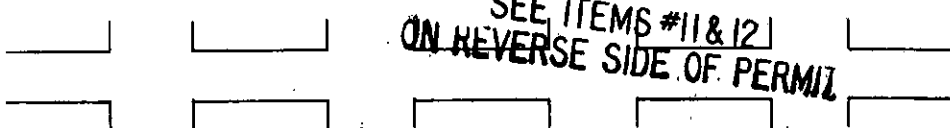
Type of Pavement to be disturbed..... None

Work will be started on..... 9-1-06..... Completed on..... 9-1-07

Working Hours..... Normal

Remarks..... Permit issued to facilitate work @ site  
additional permits to be issued for work impacting Essex County  
Right-A-Way

LOCATE OPENING IN DIAGRAM BELOW



The applicant agrees to comply with all rules and regulations as well as all laws, ordinances and resolutions, relating to said work and the acceptance of the permit shall be deemed an agreement to abide by all its terms and conditions.

Permit Fee..... Thirty five Dollars..... (\$ 35.00)  
Bond..... N/A..... (\$ XXXXXXXXXXXX)

(Amount to be written)

(Figures)

ALL REMITTANCES PAYABLE TO:

ESSEX COUNTY DEPT. OF PUBLIC WORKS, DIVISION OF ENGINEERING

Signed..... [Signature]..... Applicant..... [Signature]

APPROVED:.....  
County Engineer..... Address..... 316 Eisenhower Parkway

Received the Sum of..... \$205.00 M.O. Dollars..... Issued..... 20

..... Extended..... 20  
Account Clerk..... [Signature]

CLERK must be NOTIFIED 24 hours in ADVANCE of starting work—CALL 226-8506. This PERMIT will become NULL and VOID unless work is started within 30 days of date of issuance or unless written application for extension is made by PERMITTEE. In no event will more than one 30 day extension be granted.

### REPORT OF INSPECTOR

Date Measured.....  
Size of actual opening.....  
Base Placed..... Pavement Placed.....  
Remarks.....  
Date of Cancellation.....  
Chief Inspector

### REPORT OF COST OF REPAIRS AND INSPECTION

.....  
Date..... Account Clerk

THIS PERMIT IS ISSUED IN ACCORDANCE WITH PROVISIONS OF RESOLUTION No. 88-0002 ADOPTED BY THE BOARD OF CHOSEN FREEHOLDERS OF THE COUNTY OF ESSEX, FEB. 29, 1988.

*M. C. Capone*

NOT VALID UNLESS COUNTERSIGNED BY THE COUNTY ENGINEER

Make out in Duplicate

**ESSEX COUNTY DEPARTMENT OF PUBLIC WORKS**

900 BLOOMFIELD AVENUE, VERONA, N.J. 07044  
 APPLICATION FOR ROAD OPENING, STORAGE PERMIT, ETC.  
 Verona, N.J. September 1, 2006

Application is made by Tuli Realty LLC 452-6509  
 of 316 Eisenhower Parkway Livingston N.J. 07039  
 For (Owner of Property) same  
 For permission to Ingress/Egress Site

(State kind of permit and reason for same)

\$170.00 Inspection fee  
 at 177 Grove Avenue Verona  
 (House number) (Street) (City or town)

Between Ann Street, and Steven Street

Location of Main (Pipe) N/a  
 Size of Opening n/a Approximate Depth N/A

Type of Pavement to be disturbed None  
 Work will be started on 9-1-06 Completed on 9-1-07

Working Hours Normal  
 Remarks Permit issued to facilitate on site work

LOCATE OPENING IN DIAGRAM BELOW



The applicant agrees to comply with all rules and regulations as well as all laws, ordinances and resolutions, relating to said work and the acceptance of the permit shall be deemed an agreement to abide by all its terms and conditions.

Permit Fee Thirty Five Dollars (\$ 35.00)  
 Bond N/A (\$ XXXXXXXXXXXXXX)  
 (Amount to be written) (Figures)

ALL REMITTANCES PAYABLE TO:  
 ESSEX COUNTY DEPT. OF PUBLIC WORKS, DIVISION OF ENGINEERING

APPROVED: [Signature] Signed X (San Tuli)  
 Address 316 Eisenhower Parkway Livingston NJ 07039  
 Received the Sum of \$205.00 H.O. Dollars  
 County Engineer [Signature] Issued 9-1-06 20 00  
 Account Clerk [Signature] Extended 20 20

*M. G. Capom...*

CLERK must be NOTIFIED 24 hours in ADVANCE of starting work—CALL 226-8506. This PERMIT will become NULL and VOID unless work is started within 30 days of date of issuance or unless written application for extension is made by PERMITTEE. In no event will more than one 30 day extension be granted.

REPORT OF INSPECTOR

Date Measured.....  
 Size of actual opening.....  
 Base Placed..... Pavement Placed.....  
 Remarks.....  
 Date of Cancellation.....

Chief Inspector

REPORT OF COST OF REPAIRS AND INSPECTION

.....  
 Date..... Account Clerk.....

Jul 10 2006 3:28PM

HP LASERJET FAX

FAX NO. : 732-458-4212

JUL 07 2006 02:35PM P5



**COUNTY OF ESSEX  
DEPARTMENT OF PUBLIC WORKS**

ESSEX COUNTY PLANNING BOARD  
100 BLOOMFIELD AVENUE  
VERONA, NEW JERSEY 07044-1303

☎ (973) 228-4505  
☎ (973) 228-7460

**JOSEPH N. DIVINCENZO, JR.  
COUNTY EXECUTIVE**

Joseph Alessi  
Chairman

Peter Scarpelli  
Secretary

January 30, 2006

Karen Cassel, Sec.  
Verona Planning Board  
Township of Verona  
600 Bloomfield Avenue  
Verona, NJ 07044

**RE: Application SUB 01-0106/37-B-35  
Desmond R. Morrow  
175 Grove Avenue  
Block 65 Lot 6**

Dear Secretary:

At a meeting of the Essex County Planning Board held on January 24<sup>th</sup>, 2006 the Board Approved the above-mentioned application subject to the following:

- Final Plat and/or Deed shall be filed according to Map Filing Law to include monuments on new lot(s), if required.
- A permit is required from the Office of the County Engineer prior to beginning any work within County Road Right-of-Way, includes access to site.

Should you have any questions concerning the above, please contact Thomas Ries, Planning Board Liaison Engineer at (973) 228-8500, extension 282.

Sincerely,

Peter Scarpelli  
Secretary

PS:TR:rv

cc: Dennis R. Sedaille, Asst. County Engineer  
Desmond R. Morrow

*Putting Essex County First*  
ESSEX COUNTY IS AN EQUAL OPPORTUNITY EMPLOYER

STATE OF NEW JERSEY  
DEPARTMENT OF COMMUNITY AFFAIRS  
Division of Codes and Standards  
New Home Warranty Program  
This is to certify that

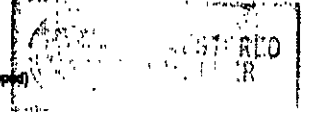
**TULI REALTY LLC**

is a registered builder under  
the New Home Warranty and  
Builder Registration Act.  
(N.J.S.A. 48:36.1 et seq.)

(This registration expires on the date stamped)

*William M. Chasley*

Director



034936 DEC 31 07

License: # 034936

Expires: 12/31/07

THIS DOCUMENT IS PRINTED ON WATERMARKED PAPER WITH A MULTI-COLORED BACKGROUND AND MULTIPLE SECURITY FEATURES. PLEASE VERIFY AUTHENTICITY

**State Of New Jersey  
New Jersey Office of the Attorney General  
Division of Consumer Affairs**

THIS IS TO CERTIFY THAT THE  
Division of Consumer Affairs

HAS REGISTERED


Tuli Realty LLC  
Sandy Tuli  
316 Eisenhower Pkwy  
Livingston NJ 07039

FOR PRACTICE IN NEW JERSEY AS A(N): Home Improvement Contractor

10/24/2006 TO 12/31/2007  
VALID

13VH02168000  
LICENSE/REGISTRATION/CERTIFICATION #

  
Signature of Licensee/Registrant/Certificate Holder

  
ACTING DIRECTOR

# Merit Plus Series Size Comparison

The first two model number digits indicate frame width, the last two digits indicate glass width.

All are A.E.U.E.-rated high efficiency vented gas fireplace heaters, certified under ANSI Z21.88 and CSA 2.33-M99.

MPD4540

MPD4035

MPD3530

MPD3328  
(Rear vent model shown)

## Standard Features

- Louvered face design
- Charred split oak gas log set
- Deluxe pan burner for big yellow flames and glowing embers
- Charcoal black exterior powder coat finish
- Realistic brickaded interior panels
- Combo top/rear direct-vent outlets (except 3328 models, which have either a top or rear outlet)
- Hi/Lo flame operation
- Pre-wired for wall switch

## Options

- Choice of standing pilot (works in a power failure) or pilotless electronic (intermittent) ignition
- Decorative polished brass or brushed stainless accessories (arch door kit, door trim, louvers, hood)
- Wireless remote controls
- Blower kits (including a temperature control version)
- Screen panel kit (heat guard)
- Radiant panel kits (for a clean face look)

All Merit™ Plus Series direct-vent gas fireplaces utilize either a Secure Vent (rigid) or Secure Flex (flexible) 4.5" inner/7.3" outer coaxial venting system, and include a 20-year limited warranty.

NOTE: Diagrams, illustrations and photographs are not to scale and should not be used for framing purposes - consult installation instructions. Product designs, materials, dimensions, specifications, colors and prices subject to change or discontinuance without notice.

Local conditions, such as elevation, wind, vent configuration and choice of fuel will affect the overall appearance of the fire.

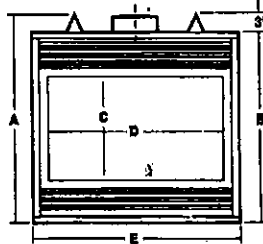
Warnock Hersey (J20006711)



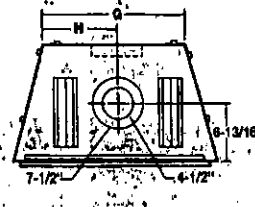
(20) 337-3134

## DIMENSIONS

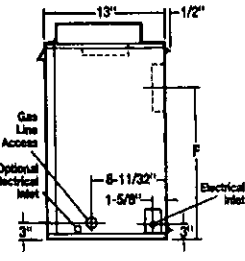
3328 MODELS (This model comes as a top or rear vent only)



Front Face

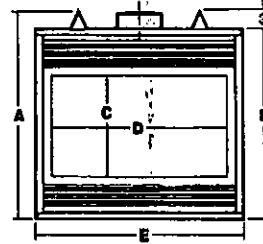


Top

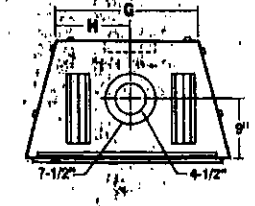


Right Side

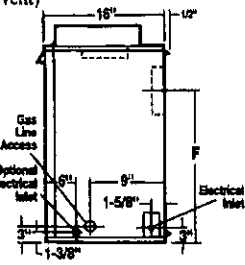
35, 40 & 45 MODELS (These models come with a top and rear vent)



Front Face



Top



Right Side

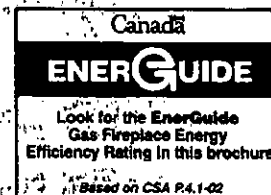
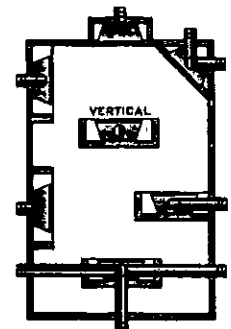
## FIREPLACE & FRAMING DIMENSIONS

MODEL #	A	B	C	D	E	F	G	H	FRAMING		
									WIDTH	HEIGHT	DEPTH
3328	33 1/8	30 1/8	17	27 1/2	33 3/8	19 5/8	21 1/2	10 3/4	33 3/4	33 3/4	13
3530	35 1/8	32 1/8	19	29 1/2	35 1/8	21 1/16	24 7/8	12 7/16	35 1/4	35 1/4	16
4035	40 1/8	37 1/8	24	34 1/2	40 1/8	26 1/16	29 7/8	14 15/16	40 1/4	40 1/4	16
4540	40 1/8	37 1/8	24	39 1/2	45 1/8	26 1/16	34 7/8	17 7/16	45 1/4	40 1/4	16

MODEL #	FUEL	BTU	EFFICIENCY*		
			ENERGY GUIDE	STEADY STATE	A.P.U.E.
3328T	NG	17,500	45	64	62
3328T	LP	17,500	49	66	64
3328R	NG	17,500	53	63	61
3328R	LP	17,500	55	66	64
3530	NG	20,000	53	64	62
3530	LP	20,000	55	62	60
4035	NG	27,000	59	69	67
4035	LP	27,000	60	69	67
4540	NG	29,000	59	69	67
4540	LP	29,000	59	69	67

\* Intermittent ignition systems

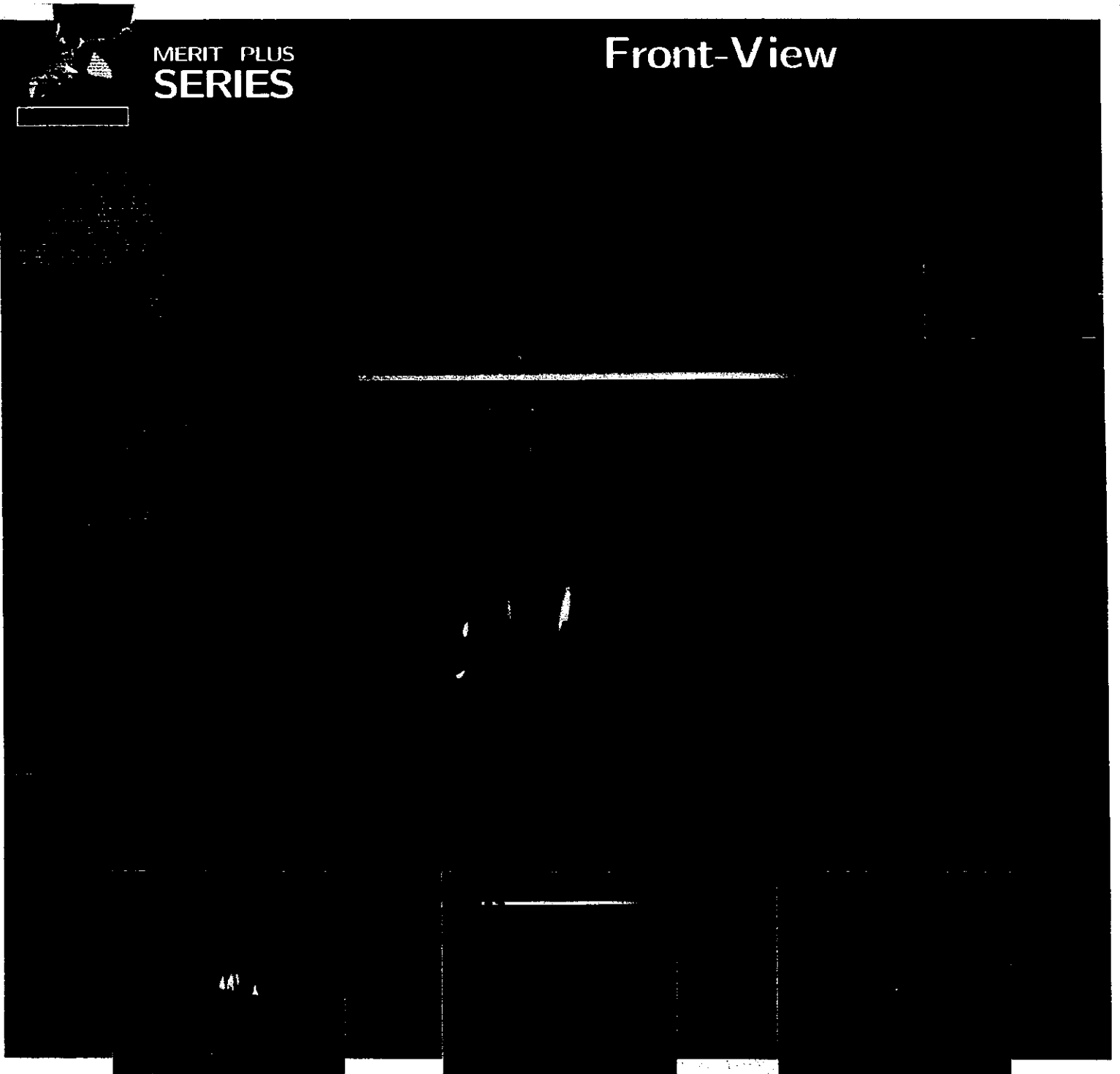
## TYPICAL ROOM APPLICATIONS





MERIT PLUS  
**SERIES**

**Front-View**

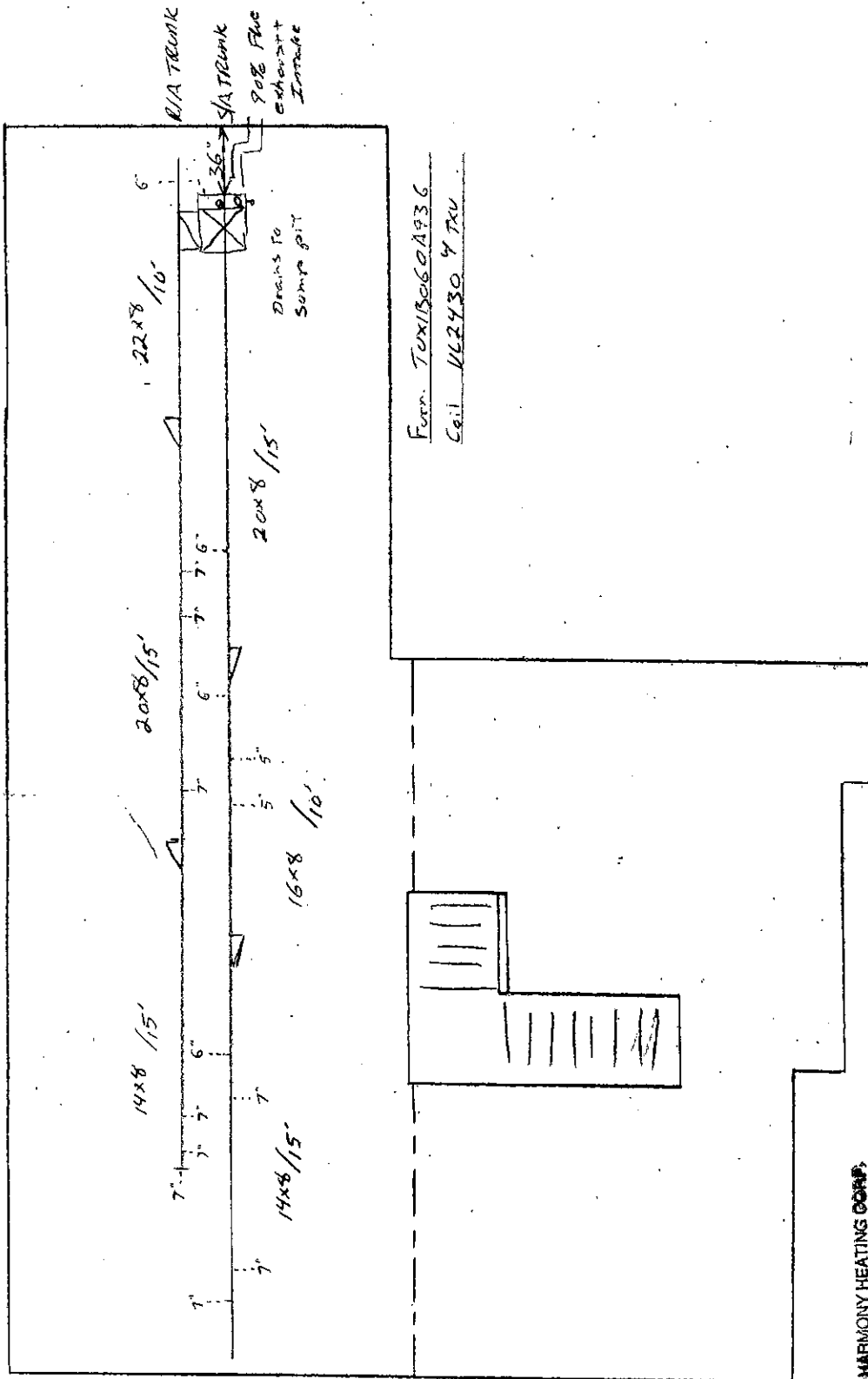


**MPD3328**  
*33" fireplace w/opt. flush face*

**MPD3530**  
*35" fireplace w/brushed stainless  
lower and door trim*

**MPD4035**  
*40" fireplace w/polished brass  
trim arch door kit*

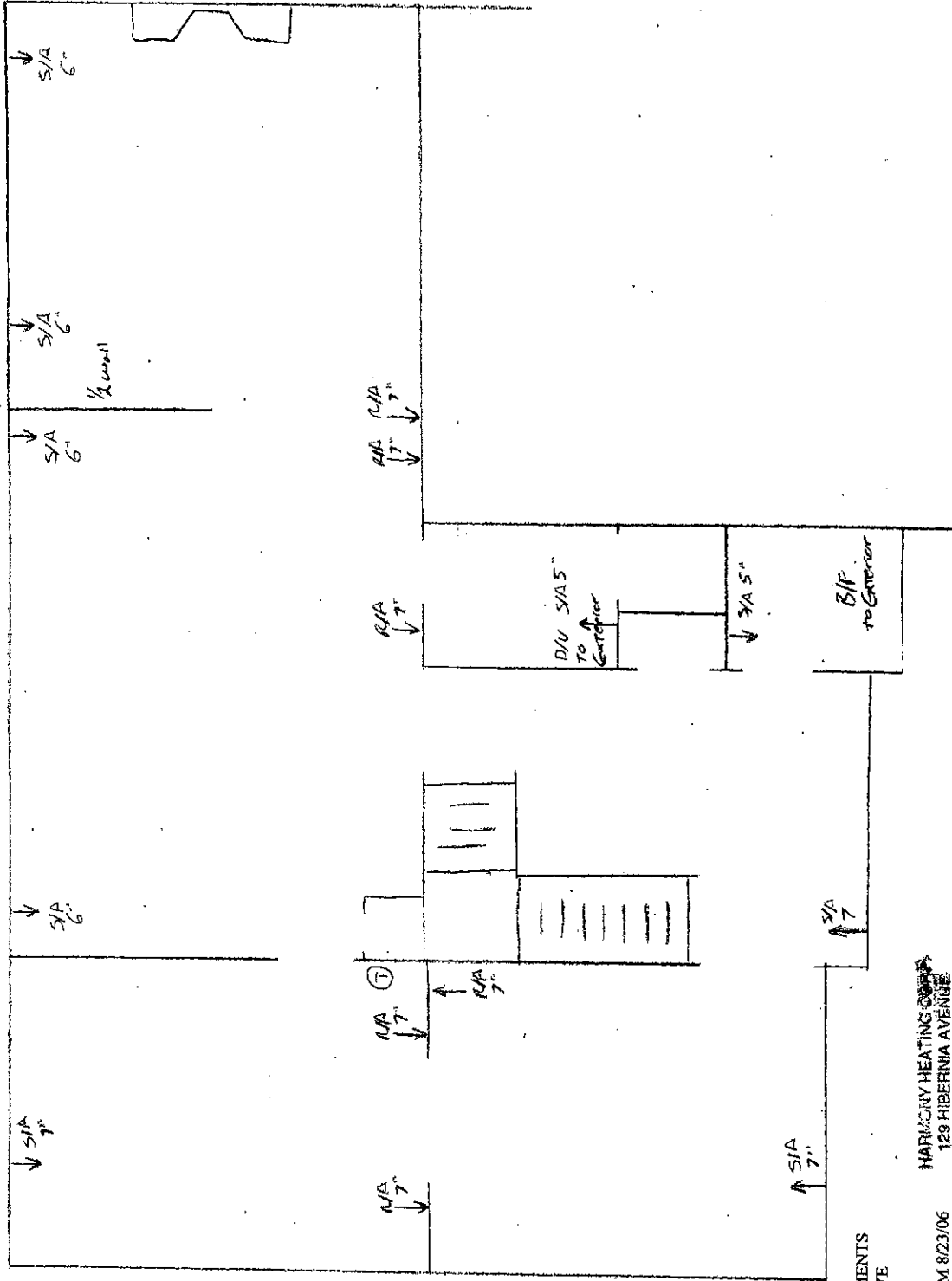
Beauty, efficiency, convenience and reliability. Just some of what you'll find in our Lennox Merit™ Plus Series direct-vent gas fireplaces. Our combo DV configuration, with both top and rear outlets, allows for top or rear venting (except our 33" units which have either a top or rear outlet). Standard features include a deluxe pan burner that produces big yellow flames and glowing embers, brickaded interiors and Hi/Lo flame operation. And, these models are even easier to warm to when you select one of our optional remote controls, or polished brass or brushed stainless trim options.



HARMONY HEATING CORP.  
 129 HIBERNIA AVENUE  
 ROCKAWAY, NJ 07866

TULL INVESTMENTS  
 175 GROVE AVE  
 LOT 6.01  
 BLK 65  
 PLAN #06TL22M 8/23/06

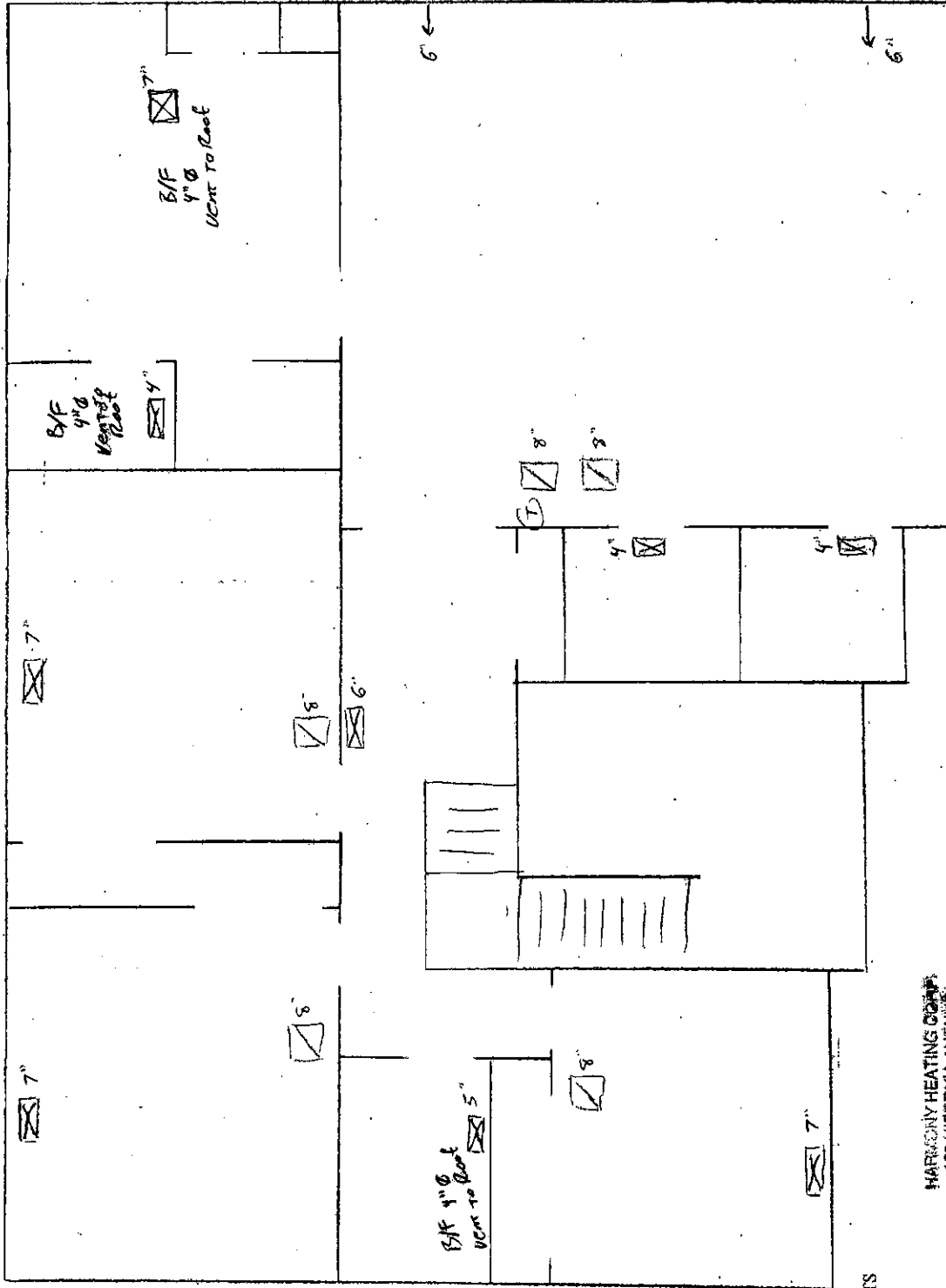
*B. Smit. Plan*



TULI INVESTMENTS  
 175 GROVE AVE  
 LOT 6.01  
 BIK 65  
 PLAN #06TL22M 8/23/06

HARMONY HEATING CO.  
 129 HIBERNIA AVENUE  
 ROCKAWAY, NJ 07866

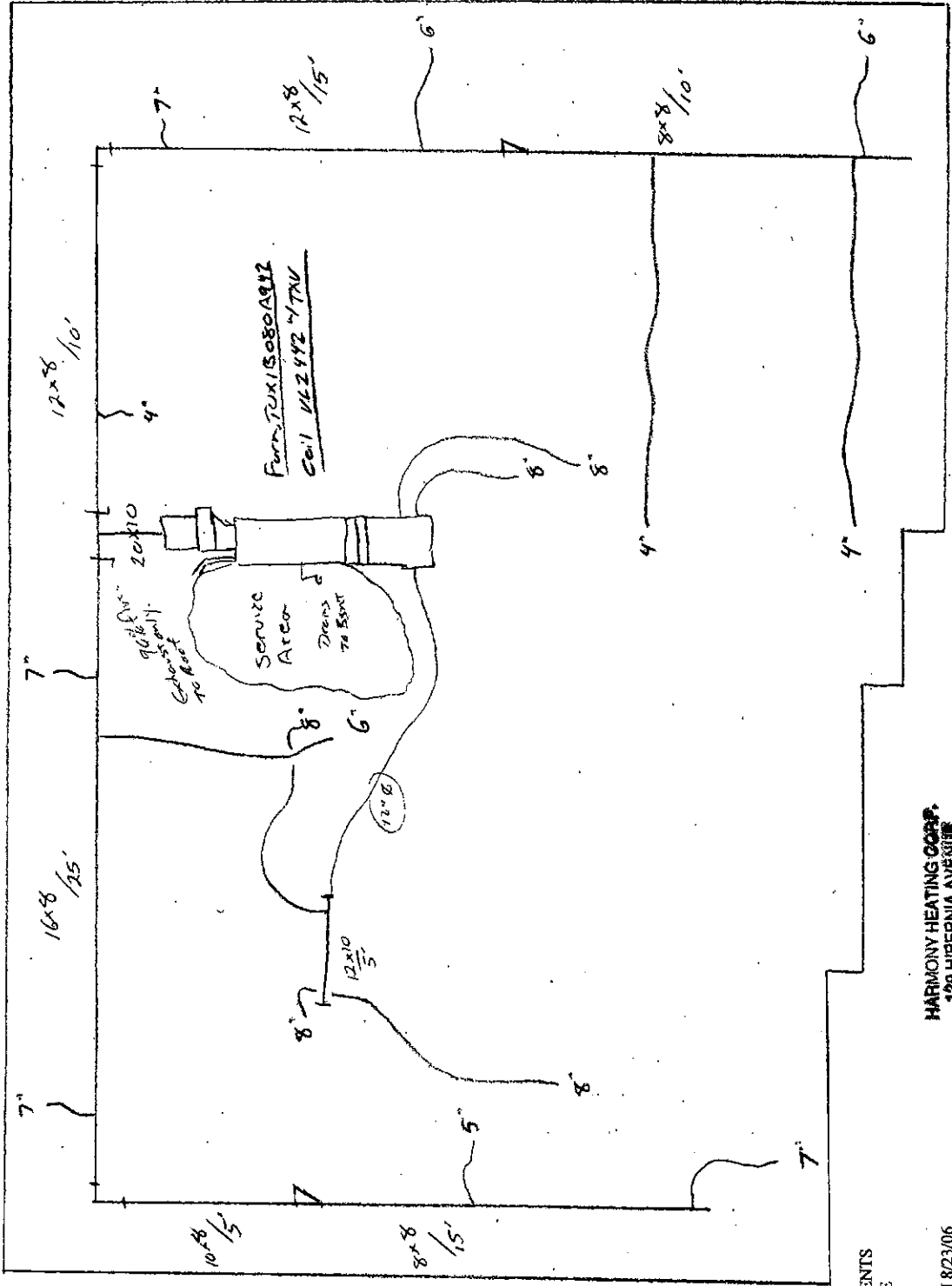
1st Floor Plan



TULLI INVESTMENTS  
 175 GROVE AVE  
 LOT 601  
 BLK 65  
 PLAN #06TIL22M 8/23/06

HARMONY HEATING CORP.  
 129 HIBERNIA AVENUE  
 ROCKAWAY, NJ 07866

2nd Floor Plan



TULI INVESTMENTS  
 175 GROVE AVE  
 LOT 6.01  
 BLK 65  
 PLAN #06TL22M 8/23/06

HARMONY HEATING CORP.  
 129 HIBERNIA AVENUE  
 ROCKAWAY, NJ 07866

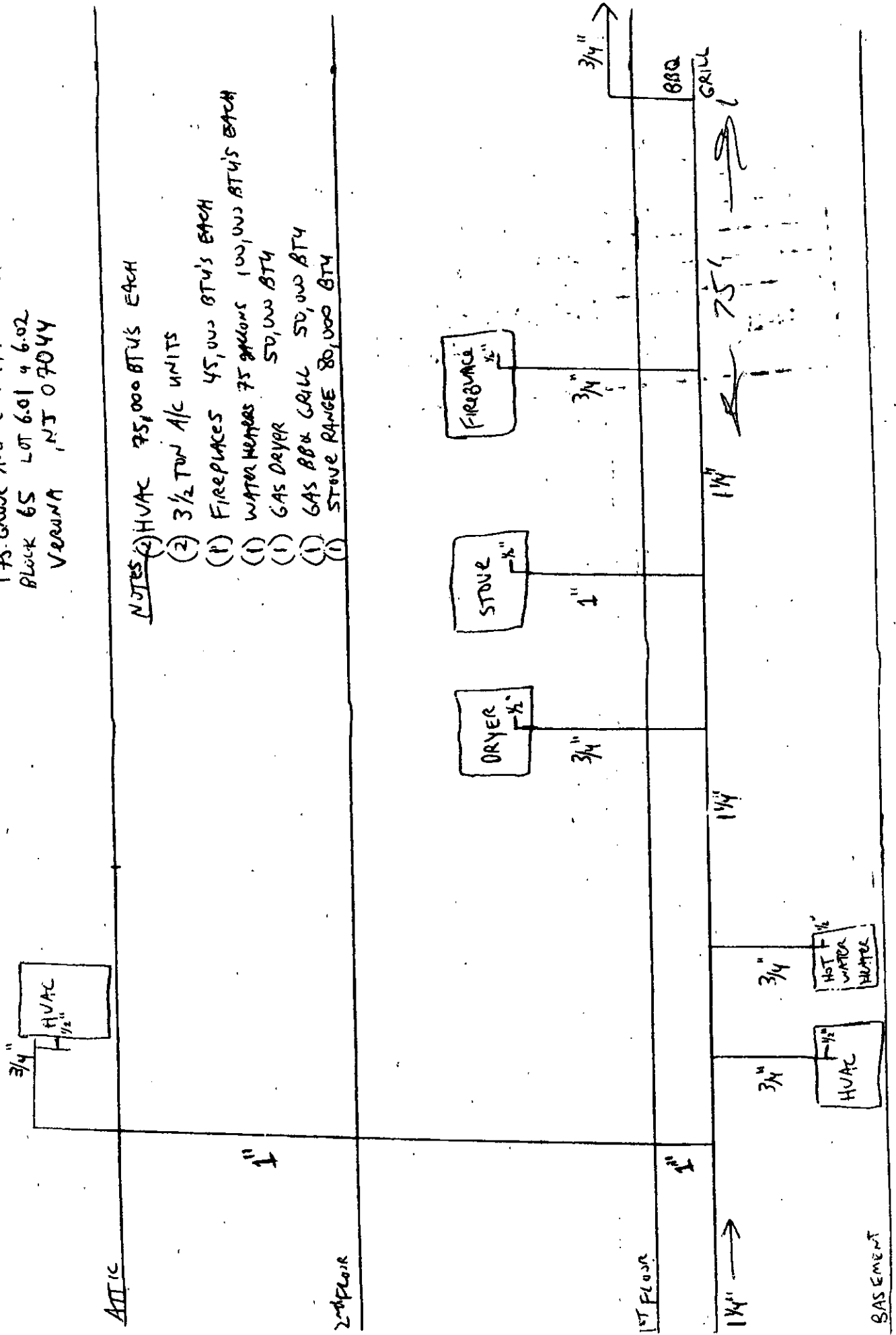
*Attic Duct Layout*

Reviewed:	Date
Construction Official	
Building Inspector	
Plumbing SubCode	
Electrical SubCode	
Fire SubCode	

PLUMBING - GAS PIPING DIAGRAM NOT TO SCALE

175 GRAVE AVENUE & 177 GRAVE AVENUE  
 BLOCK 65 LOT 6.01 & 6.02  
 VERONA, NJ 07044

- NOTES
- (1) HVAC 75,000 BTUS EACH
  - (2) 3 1/2 TON A/C UNITS
  - (1) FIREPLACES 45,000 BTUS EACH
  - (1) WATER HEATER 75 GALLONS 100,000 BTUS EACH
  - (1) GAS DRYER 50,000 BTU
  - (1) GAS BBQ GRILL 50,000 BTU
  - (1) STOVE RANGE 80,000 BTU

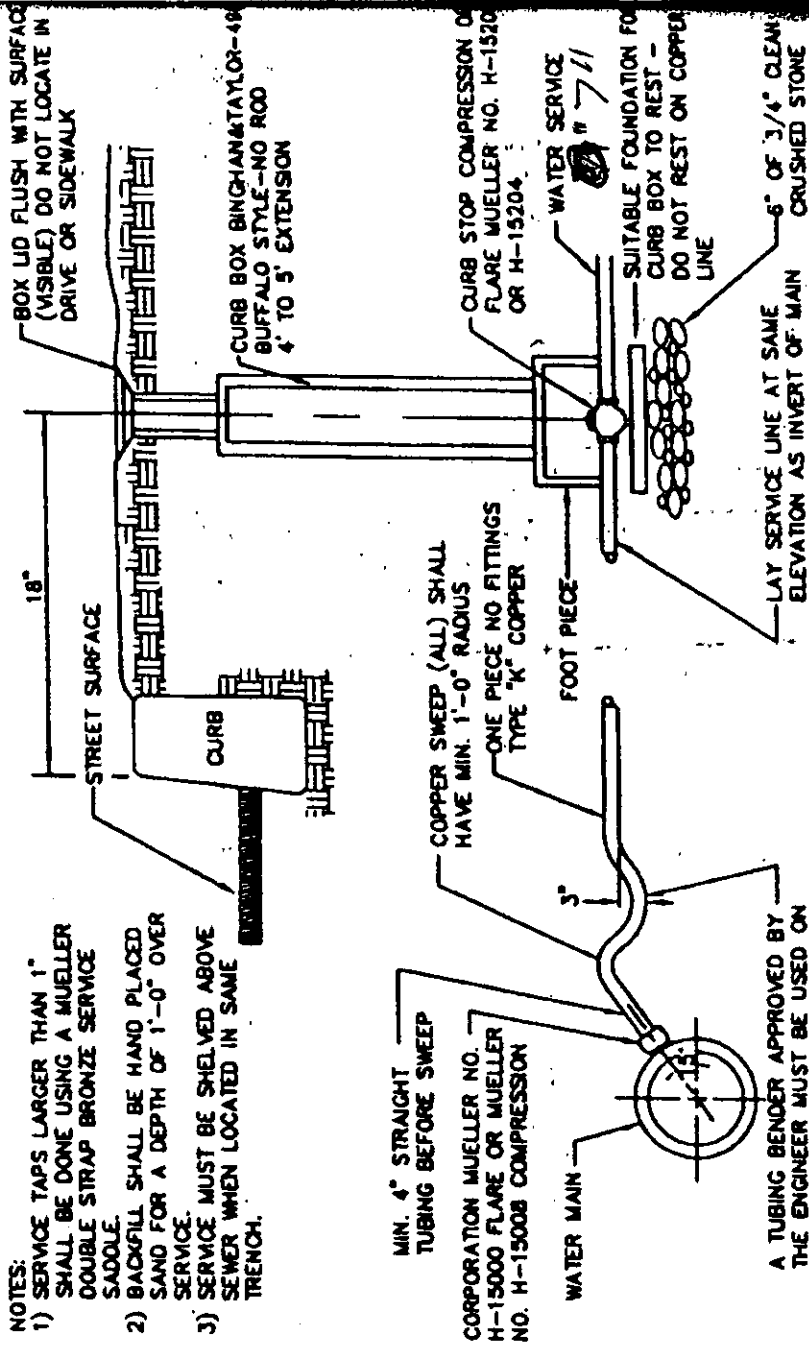


Reviewed:		Date
Construction Official	_____	_____
Building Inspector	_____	_____
Plumbing SubCode	_____	_____
Electrical SubCode	_____	_____
Fire SubCode	_____	_____



175 Grove Avenue • 177 Grove Avenue  
 Block 65 LT 6.019 6.02  
 Verona, NJ 07044

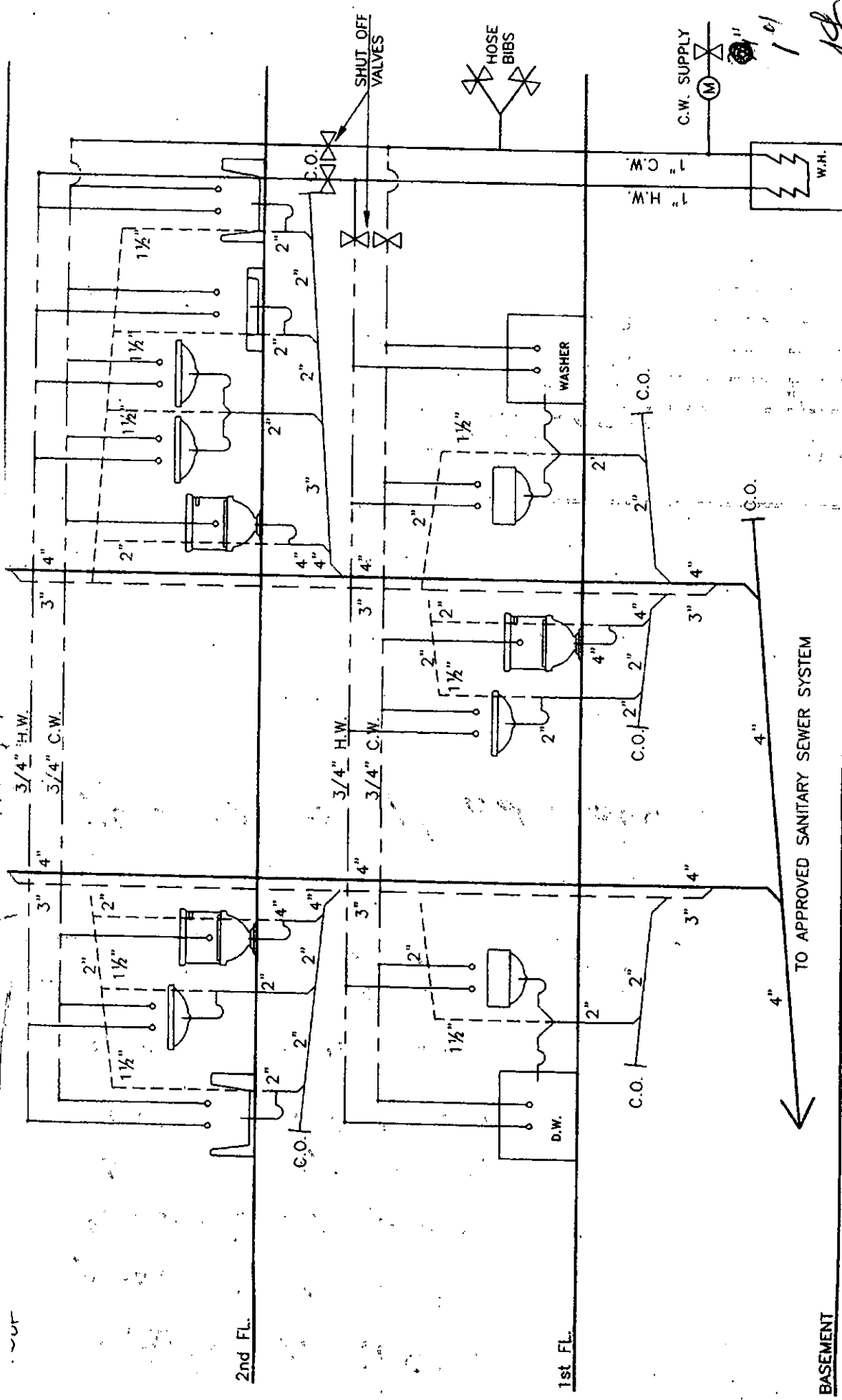
- NOTES:
- 1) SERVICE TAPS LARGER THAN 1" SHALL BE DONE USING A MUELLER DOUBLE STRAP BRONZE SERVICE SADDLE.
  - 2) BACKFILL SHALL BE HAND PLACED SAND FOR A DEPTH OF 1'-0" OVER SERVICE.
  - 3) SERVICE MUST BE SHELVED ABOVE SEWER WHEN LOCATED IN SAME TRENCH.



## WATER SERVICE CONNECTION

SCALE: N.T.S.

Reviewed:		Date
Construction Official	_____	_____
Building Inspector	_____	_____
Plumbing SubCode	_____	_____
Electrical SubCode	_____	_____
Fire SubCode	_____	_____



175 Grove Avenue a 177 Grove Avenue  
 Block 65 Lot 6.01 & 6.02  
 Verona, NJ 07044

**2 PLUMBING RISER DIAGRAM**

NOT TO SCALE

2  
A-3

3 Baths 9 WSFU  
 2 HB 215 = 5 WSFU  
 Laundry Subc 2 WSFU  
 K.S. 1.5 WSFU  
 DW 1.5 WSFU  
 WM 4 WSFU

---

23 WSFU Min

25 - 17 = 1" Water Ser.

Reviewed:		Date
Construction Official	_____	_____
Building Inspector	_____	_____
Plumbing SubCode	_____	_____
Electrical SubCode	_____	_____
Fire SubCode	_____	_____

*Township of Verona*

#10 Commerce Court  
VERONA, NEW JERSEY 07044

OFFICE OF THE TOWNSHIP ENGINEER

Telephone: (973) 657-4609 Fax: (973) 230-7937



Memorandum

For: Tom Jacobson, Building Inspector  
From: James M. Helb, Township Engineer  
Date: February 5, 2007  
Re: 175-177 Grove Avenue

I have reviewed the Plans and Drainage Reports submitted for the above application and prepared by James R. McCumsey, PE, LS and have the following comments:

1. The subdivision map must be filed with Essex County before any permits can be issued.
2. The applicant must have the plans reviewed and obtain a permit from Essex County since the plans show storm drainage connecting to the Essex County storm system.
3. The retention system on Lot 6.02 scales approximately 25 feet while the plans indicate 18 feet. The plans must be revised.
4. The retention system on Lot 6.01 scales approximately 40 feet while the plans indicate 30 feet. The plans must be revised.
5. The overflow for the retention system on Lot 6.02 is at elevation 99.60 while the cap is at elevation 98.80.
6. The drainage Report shows 550 SF of the roof connecting to the retention system while the plans show 605 SF for Lot 6.02. The calculations must be revised.
7. Calculations for the volume of the retention system must consider the thickness of the 48 inch pipe.
8. Calculations showing that the retention system can accommodate the entire volume from the 100 year storm for the roof area being discharged to the system must be included in the Drainage Report.
9. Calculations showing the time to drain for each retention system must be shown in the Drainage Report.

10. The elevations for the profile on the plans versus the section are inconsistent. The plans must be revised.
11. The homeowner must maintain the retention system. The applicant should provide information on the maintenance of the system to the homeowner. A Maintenance Manual should be submitted to the Township for the files.
12. The applicant must obtain a permit from the HEP Soil Conservation District.
13. The applicant must comply with the requirements of the Affordable Housing Development Fee Ordinance.
14. The applicant is responsible for all sewer and water tie in fees.

*Township of Verona*

#10 Commerce Court  
VERONA, NEW JERSEY 07044

OFFICE OF THE TOWNSHIP ENGINEER

Telephone: (973) 867-4893 Fax: (973) 236-7037



Memorandum

For: Tom Jacobson, Building Inspector  
From: James M. Helb, Township Engineer  
Date: March 12, 2007  
Re: 175-177 Grove Avenue

I have reviewed the revised Plans and Drainage Reports submitted for the above application and prepared by James R. McCumsey, PE, LS and have the following comments:

1. The subdivision map must be filed with Essex County before any permits can be issued. Maps must be distributed to the Township Engineer's Office.
2. Approval from the Essex County Planning Board is required.
3. The applicant must have the plans reviewed and obtain a permit from Essex County since the plans show storm drainage connecting to the Essex County storm system.
4. A Road Opening Permit must be obtained from Essex County for installation of any utilities/services on Grove Avenue.
5. The applicant must obtain a permit from the Building Department to construct the modular block retaining wall on Lot 6.01.
6. The homeowners are responsible for maintaining the retention system and swales.
7. The applicant must obtain a permit from the HEP Soil Conservation District.
8. The applicant must comply with the requirements of the Affordable Housing Development Fee Ordinance.
9. The applicant is responsible for all sewer and water tie in fees.

# ABBREVIATIONS

SYMBOLS & MATERIALS	GRAPHIC SYMBOLS (ELECTRICAL)
<p>ASBESTOS (A)</p> <p>BRICK (B)</p> <p>CONCRETE (C)</p> <p>GLASS (G)</p> <p>INSULATION (I)</p> <p>IRON (IR)</p> <p>STEEL (S)</p> <p>WOOD (W)</p> <p>ROOFING (R)</p> <p>PAINT (P)</p> <p>FINISH (F)</p> <p>... [Remaining abbreviations follow similar pattern]</p>	<p>1. 15 AMP BREAKER</p> <p>2. 20 AMP BREAKER</p> <p>3. 30 AMP BREAKER</p> <p>4. 40 AMP BREAKER</p> <p>5. 50 AMP BREAKER</p> <p>6. 60 AMP BREAKER</p> <p>7. 70 AMP BREAKER</p> <p>8. 80 AMP BREAKER</p> <p>9. 90 AMP BREAKER</p> <p>10. 100 AMP BREAKER</p> <p>11. 15 AMP GFI</p> <p>12. 20 AMP GFI</p> <p>13. 30 AMP GFI</p> <p>14. 40 AMP GFI</p> <p>15. 50 AMP GFI</p> <p>16. 60 AMP GFI</p> <p>17. 70 AMP GFI</p> <p>18. 80 AMP GFI</p> <p>19. 90 AMP GFI</p> <p>20. 100 AMP GFI</p> <p>21. 15 AMP GFI</p> <p>22. 20 AMP GFI</p> <p>23. 30 AMP GFI</p> <p>24. 40 AMP GFI</p> <p>25. 50 AMP GFI</p> <p>26. 60 AMP GFI</p> <p>27. 70 AMP GFI</p> <p>28. 80 AMP GFI</p> <p>29. 90 AMP GFI</p> <p>30. 100 AMP GFI</p> <p>31. 15 AMP GFI</p> <p>32. 20 AMP GFI</p> <p>33. 30 AMP GFI</p> <p>34. 40 AMP GFI</p> <p>35. 50 AMP GFI</p> <p>36. 60 AMP GFI</p> <p>37. 70 AMP GFI</p> <p>38. 80 AMP GFI</p> <p>39. 90 AMP GFI</p> <p>40. 100 AMP GFI</p>

**REQUIRED, INTERCONNECTED BY THE SUBCONTRACTOR**

**3-MI BEDROOMS/NEW & EXISTING**

**2-MI HALLS**

**1-MI LIVES**

**REQUIREMENTS:**

- 1. ALL WIRING TO BE INSTALLED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) AS AMENDED BY THE STATE OF NEW JERSEY.
- 2. ALL WIRING TO BE INSTALLED IN ACCORDANCE WITH THE NATIONAL FIRE ALARM AND SIGNAL CODE (NFPA 72) AS AMENDED BY THE STATE OF NEW JERSEY.
- 3. ALL WIRING TO BE INSTALLED IN ACCORDANCE WITH THE NATIONAL WIREMANS FUNDAMENTAL CODE (NFWFC) AS AMENDED BY THE STATE OF NEW JERSEY.

**Wellsfisch Architects, LLC AIA**

**SINGLE FAMILY HOUSE**

1000 SPRINGFIELD AVE. SUITE 203 (908) 684-3006  
MOUNTAIN VIEW, NJ 07093

**PROJECT:** SINGLE FAMILY HOUSE  
BLOCK: B5 LOT # 6.02  
1000 SPRINGFIELD AVE., YERGENA TWP., ESSEX COUNTY, NJ  
TWP. 40.03

**DATE:** 08/23/08  
**SCALE:** AS NOTED

**OWNER:** DANIEL & JENNIFER BLOTT  
**GROUP:** BLOTT ARCHITECTS  
**GROUP TYPE:** ARCHITECT

**DESIGNER:** WELLSFISCH ARCHITECTS, LLC  
**DATE:** 08/23/08  
**SCALE:** AS NOTED

**PROJECT NO.:** 0808010  
**SHEET NO.:** A1

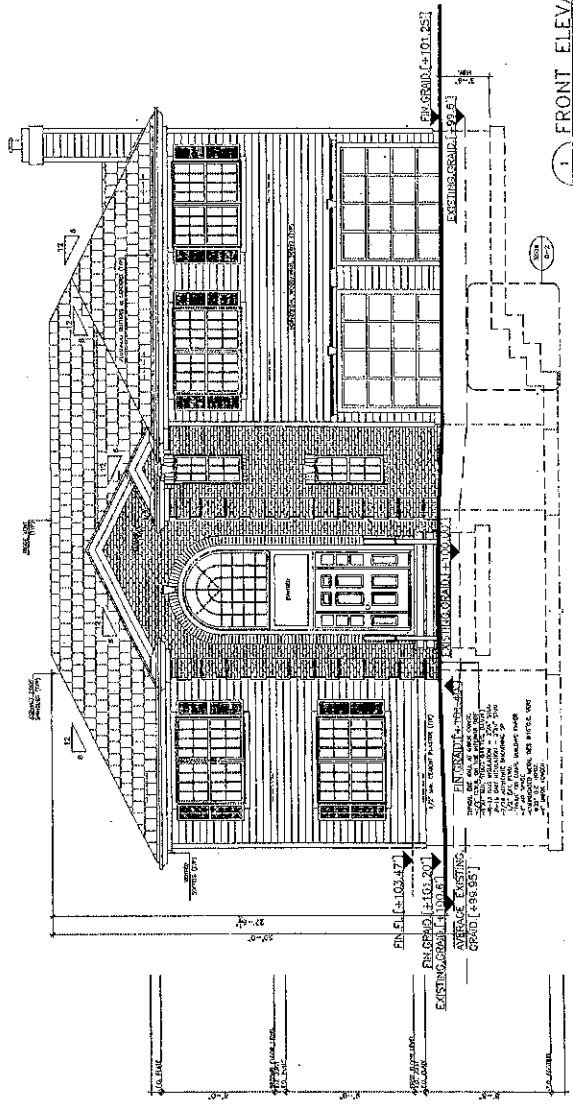
**BUILDING DATA**

**BUILDING CODES APPLIED:**  
- NEW JERSEY UNIFORM CONSTRUCTION CODE/2003  
- INTERNATIONAL RESIDENTIAL CODE/2000

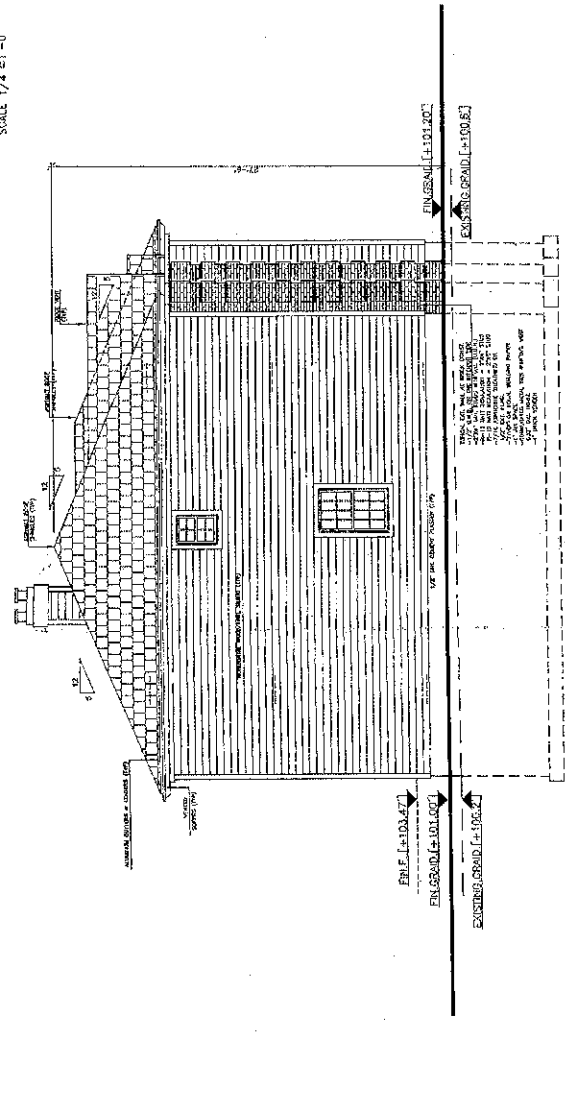
**1. NUMBER OF STORES:** 2 STORES  
**2. BUILDING HEIGHT:** 26'-9"  
**3. CONSTRUCTION CLASS:** V-B  
**4. GROUP:** R-3

**BUILDING AREA/VOLUME CALCULATIONS**

SPACE	AREA (SQ. FT.)	VOLUME (CU. FT.)
FIRST FLOOR LEVEL	1,770.00 SF	1,770.00 CF
SECOND FLOOR LEVEL	1,630.00 SF	1,630.00 CF
BASEMENT FLOOR LEVEL	1,800.00 SF	1,800.00 CF
ATTIC FLOOR LEVEL	650.00 SF	650.00 CF
CHIMNEY	44.00	1,760.00
<b>TOTAL FLOOR AREA</b>	<b>5,012.00</b>	
<b>TOTAL VOLUME</b>		<b>4,840.00</b>



**1 FRONT ELEVATION**  
SCALE 1/4"=1'-0"



**2 LEFT SIDE ELEVATION**  
SCALE 1/4"=1'-0"

**NOTES:**

1. ALL WORK SHALL BE IN ACCORDANCE WITH THE NEW JERSEY UNIFORM CONSTRUCTION CODE/2003 AND THE INTERNATIONAL RESIDENTIAL CODE/2000.

2. ALL MATERIALS AND FINISHES TO BE APPROVED BY THE ARCHITECT PRIOR TO INSTALLATION.

3. ALL WORK SHALL BE INSTALLED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) AS AMENDED BY THE STATE OF NEW JERSEY.

4. ALL WORK SHALL BE INSTALLED IN ACCORDANCE WITH THE NATIONAL FIRE ALARM AND SIGNAL CODE (NFPA 72) AS AMENDED BY THE STATE OF NEW JERSEY.

5. ALL WORK SHALL BE INSTALLED IN ACCORDANCE WITH THE NATIONAL WIREMANS FUNDAMENTAL CODE (NFWFC) AS AMENDED BY THE STATE OF NEW JERSEY.



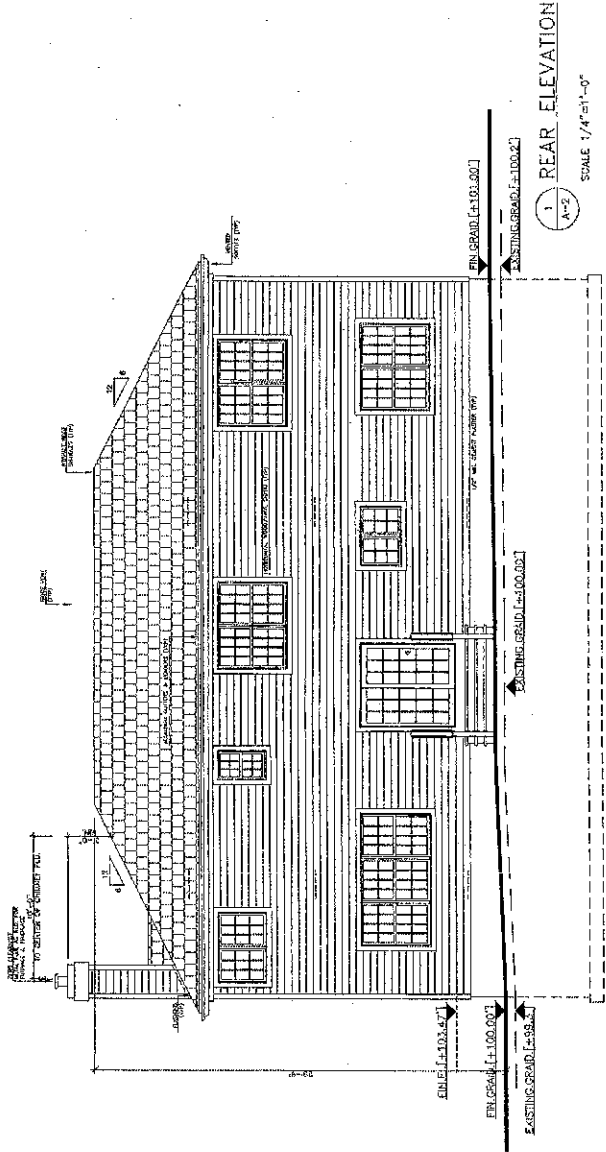


**GRABBAR NOTES:**  
 ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE SPECIFICATIONS AND CONDITIONS OF CONTRACT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITIES AND STRUCTURES. THE CONTRACTOR SHALL MAINTAIN THE SITE IN A SAFE AND SOUND CONDITION AT ALL TIMES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITIES AND STRUCTURES. THE CONTRACTOR SHALL MAINTAIN THE SITE IN A SAFE AND SOUND CONDITION AT ALL TIMES.

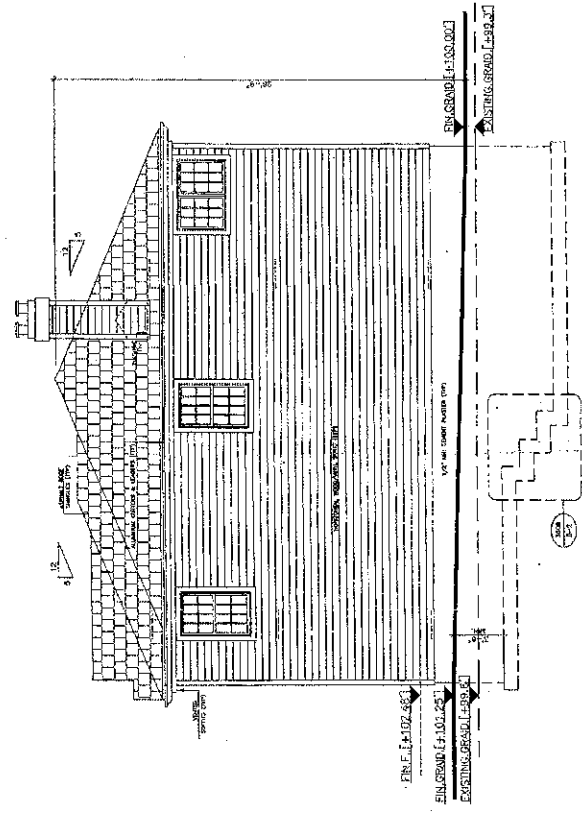
DATE	08/23/06	SCALE	AS NOTED
DATE	08/23/06	SCALE	AS NOTED
DATE	08/23/06	SCALE	AS NOTED
DATE	08/23/06	SCALE	AS NOTED

**Wellisch Architects LLC AIA**  
 1000 SPRINGFIELD AVE, SUITE 200 (PH) 854-7900  
 MOUNTAIN VIEW, FL 32756  
 PROJECT: **SINGLE FAMILY HOUSE**  
 BLOCK 85, LOT 8.12  
 177 GROVE AVE., VEROBEA TWP., ESSEX COUNTY, N.J.  
 TUD REALTY

DATE	08/23/06	SCALE	AS NOTED
DATE	08/23/06	SCALE	AS NOTED
DATE	08/23/06	SCALE	AS NOTED
DATE	08/23/06	SCALE	AS NOTED



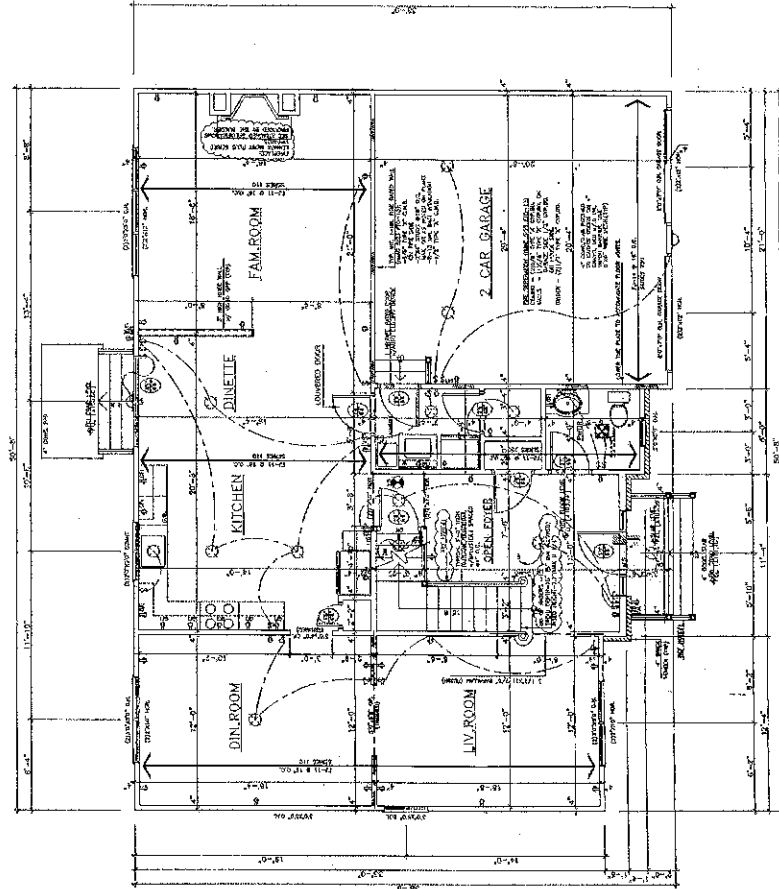
**1 REAR ELEVATION**  
 SCALE 1/4"=1'-0"



**2 RIGHT SIDE ELEVATION**  
 SCALE 1/4"=1'-0"

**GENERAL NOTES:**

1. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
2. FINISH FLOOR IS 4" THICK CONCRETE ON 4" THICK POLYSTYRENE INSULATION ON 4" THICK GRAVEL ON 4" THICK COMPACTED SUBGRADE.
3. EXTERIOR WALLS ARE 8" THICK CONCRETE BLOCK WITH 2" POLYSTYRENE INSULATION ON EXTERIOR FACE.
4. ROOF IS 2" POLYSTYRENE INSULATION ON 2" THICK GYPSUM BOARD ON 2" THICK CONCRETE SLAB ON 4" THICK GRAVEL ON 4" THICK COMPACTED SUBGRADE.
5. ALL INTERIORS ARE TO BE FINISHED WITH 1/2" THICK GYPSUM BOARD ON 2" THICK CONCRETE SLAB ON 4" THICK GRAVEL ON 4" THICK COMPACTED SUBGRADE.
6. ALL INTERIORS ARE TO BE FINISHED WITH 1/2" THICK GYPSUM BOARD ON 2" THICK CONCRETE SLAB ON 4" THICK GRAVEL ON 4" THICK COMPACTED SUBGRADE.
7. ALL INTERIORS ARE TO BE FINISHED WITH 1/2" THICK GYPSUM BOARD ON 2" THICK CONCRETE SLAB ON 4" THICK GRAVEL ON 4" THICK COMPACTED SUBGRADE.
8. ALL INTERIORS ARE TO BE FINISHED WITH 1/2" THICK GYPSUM BOARD ON 2" THICK CONCRETE SLAB ON 4" THICK GRAVEL ON 4" THICK COMPACTED SUBGRADE.
9. ALL INTERIORS ARE TO BE FINISHED WITH 1/2" THICK GYPSUM BOARD ON 2" THICK CONCRETE SLAB ON 4" THICK GRAVEL ON 4" THICK COMPACTED SUBGRADE.
10. ALL INTERIORS ARE TO BE FINISHED WITH 1/2" THICK GYPSUM BOARD ON 2" THICK CONCRETE SLAB ON 4" THICK GRAVEL ON 4" THICK COMPACTED SUBGRADE.



**NOTES:**

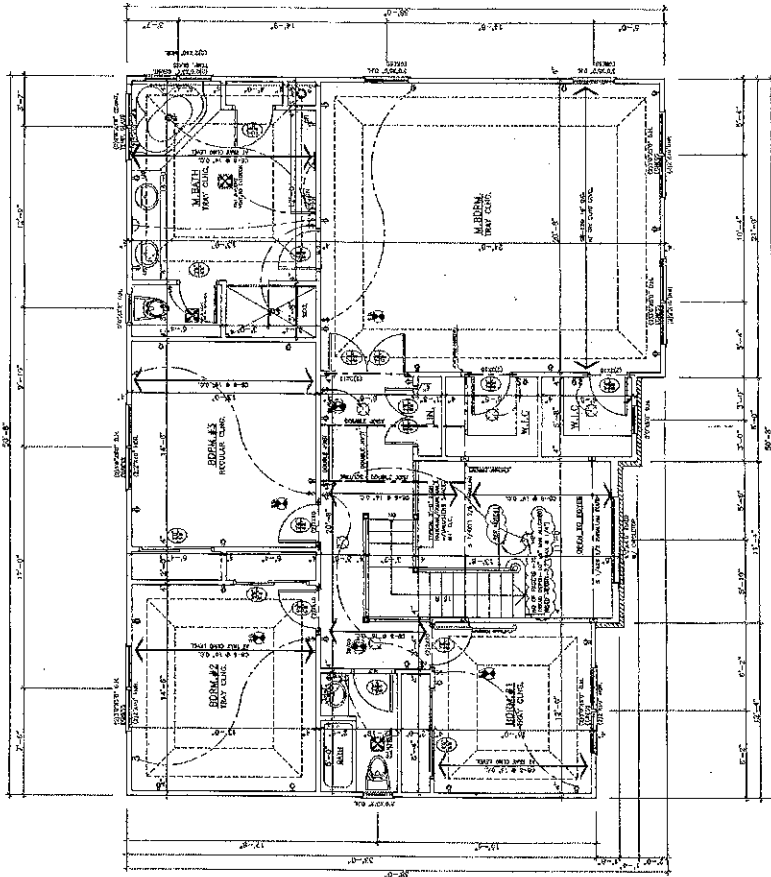
1. (AS PER SECTION R 315) CONTINUOUS GRESSABLE HANDRAIL (MIN 1 7/8" DIAMETER CROSS SECTION TO 2" WALL AT THE END OR TO THE ROOF POST. HANDRAIL HEIGHT SHALL BE 35" (MIN 30" MAX 38"). HANDRAIL ADJACENT TO THE WALL SHALL BE 1/4" FROM THE WALL AND 1/4" FROM THE HANDRAIL.

**1 FIRST FLOOR PLAN**  
SCALE 1/4" = 1'-0" AREA - 1379.00 S.F. VOLUME - 13750.00 C.F.

**GENERAL NOTES:**

1. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
2. FINISH FLOOR IS 4" THICK CONCRETE ON 4" THICK POLYSTYRENE INSULATION ON 4" THICK GRAVEL ON 4" THICK COMPACTED SUBGRADE.
3. EXTERIOR WALLS ARE 8" THICK CONCRETE BLOCK WITH 2" POLYSTYRENE INSULATION ON EXTERIOR FACE.
4. ROOF IS 2" POLYSTYRENE INSULATION ON 2" THICK GYPSUM BOARD ON 2" THICK CONCRETE SLAB ON 4" THICK GRAVEL ON 4" THICK COMPACTED SUBGRADE.
5. ALL INTERIORS ARE TO BE FINISHED WITH 1/2" THICK GYPSUM BOARD ON 2" THICK CONCRETE SLAB ON 4" THICK GRAVEL ON 4" THICK COMPACTED SUBGRADE.
6. ALL INTERIORS ARE TO BE FINISHED WITH 1/2" THICK GYPSUM BOARD ON 2" THICK CONCRETE SLAB ON 4" THICK GRAVEL ON 4" THICK COMPACTED SUBGRADE.
7. ALL INTERIORS ARE TO BE FINISHED WITH 1/2" THICK GYPSUM BOARD ON 2" THICK CONCRETE SLAB ON 4" THICK GRAVEL ON 4" THICK COMPACTED SUBGRADE.
8. ALL INTERIORS ARE TO BE FINISHED WITH 1/2" THICK GYPSUM BOARD ON 2" THICK CONCRETE SLAB ON 4" THICK GRAVEL ON 4" THICK COMPACTED SUBGRADE.
9. ALL INTERIORS ARE TO BE FINISHED WITH 1/2" THICK GYPSUM BOARD ON 2" THICK CONCRETE SLAB ON 4" THICK GRAVEL ON 4" THICK COMPACTED SUBGRADE.
10. ALL INTERIORS ARE TO BE FINISHED WITH 1/2" THICK GYPSUM BOARD ON 2" THICK CONCRETE SLAB ON 4" THICK GRAVEL ON 4" THICK COMPACTED SUBGRADE.

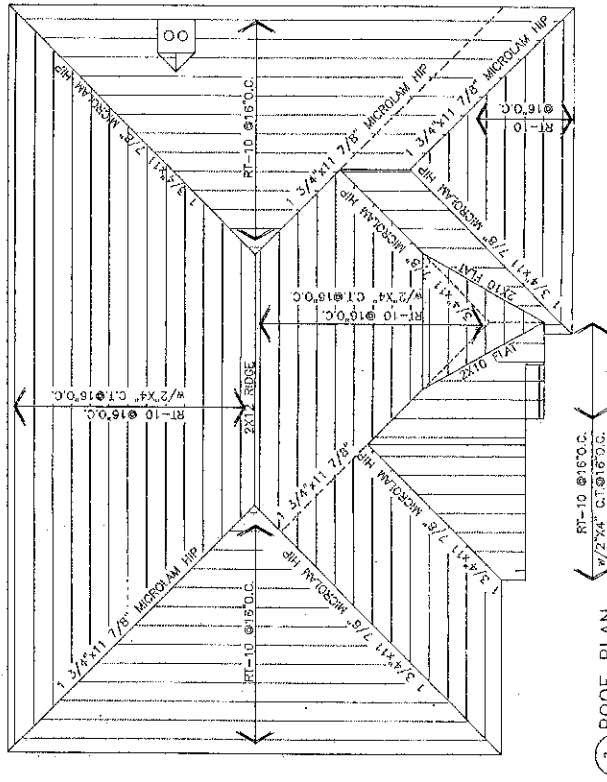
DATE	08/22/08	SCALE	A2 NOTED
BY	WJL	DATE	08/22/08
REVISIONS		DATE	
<b>PROJECT:</b> <b>SINGLE FAMILY HOUSE</b> 178 SHORTE AVE., VERNON TWP., SUSSEX COUNTY, N.J. 700 HICKORY			
DRAWING'S FIRST FLOOR PLAN			
DATE	08/22/08	SCALE	A2 NOTED
BY	WJL	DATE	08/22/08
REVISIONS		DATE	
<b>PROJECT:</b> <b>SINGLE FAMILY HOUSE</b> 178 SHORTE AVE., VERNON TWP., SUSSEX COUNTY, N.J. 700 HICKORY			
DRAWING'S FIRST FLOOR PLAN			
DATE	08/22/08	SCALE	A2 NOTED
BY	WJL	DATE	08/22/08
REVISIONS		DATE	
<b>PROJECT:</b> <b>SINGLE FAMILY HOUSE</b> 178 SHORTE AVE., VERNON TWP., SUSSEX COUNTY, N.J. 700 HICKORY			
DRAWING'S FIRST FLOOR PLAN			
DATE	08/22/08	SCALE	A2 NOTED
BY	WJL	DATE	08/22/08
REVISIONS		DATE	
<b>PROJECT:</b> <b>SINGLE FAMILY HOUSE</b> 178 SHORTE AVE., VERNON TWP., SUSSEX COUNTY, N.J. 700 HICKORY			
DRAWING'S FIRST FLOOR PLAN			
DATE	08/22/08	SCALE	A2 NOTED
BY	WJL	DATE	08/22/08
REVISIONS		DATE	
<b>PROJECT:</b> <b>SINGLE FAMILY HOUSE</b> 178 SHORTE AVE., VERNON TWP., SUSSEX COUNTY, N.J. 700 HICKORY			
DRAWING'S FIRST FLOOR PLAN			



**NOTE 1:**  
 (AS PER SECTION R 315)  
 CONTIGUOUS GRASSABLE HANDRAIL (MIN 1 1/2" CIRCULAR CROSS SECTION) TO BE WALL AT THE END OR TO THE NEWEL POST. HANDRAIL HEIGHT SHALL BE 36" (MIN 30" MAX 38") HANDRAIL ADJACENT TO THE WALL SHALL BE LESS THAN 1/2" BETWEEN THE WALL AND THE HANDRAIL.

**NOTE 2:**  
 IN THE ATTIC PROVIDE 3/4" WIDE ACCESS WAY TO AND AROUND THE MECHANICAL EQUIPMENT. ACCESSWAYS SHALL HAVE 1/2" THICK PLYWOOD WALK.

**1. SECOND FLOOR PLAN**  
 SCALE 1/4"=1'-0"  
 AREA - 1033.00 S.F. VOLUME - 13084.00 C.F.



**2. ROOF PLAN**  
 SCALE 1/4"=1'-0"

DATE	PROVISIONS	BY
05/28/97	FOR THE DEVELOPER LETTER DATED 05/28/97	M.A.
08/23/99	FOR THE DEVELOPER LETTER DATED 08/23/99	M.A.
08/23/08	FOR THE DEVELOPER LETTER DATED 08/23/08	M.A.

**Wellisch Architects LLC AIA**  
 1020 SPRINGFIELD AVENUE SUITE 200 (908) 864-7900  
 WYOMING, NJ 07098

**SINGLE FAMILY HOUSE**  
 BLOCK 65 LOT 7 B.R.2  
 102 REALTY

**FRAMING SCHEDULE**  
 (AS PER SECTION R 315)  
 CONTIGUOUS GRASSABLE HANDRAIL (MIN 1 1/2" CIRCULAR CROSS SECTION) TO BE WALL AT THE END OR TO THE NEWEL POST. HANDRAIL HEIGHT SHALL BE 36" (MIN 30" MAX 38") HANDRAIL ADJACENT TO THE WALL SHALL BE LESS THAN 1/2" BETWEEN THE WALL AND THE HANDRAIL.

DATE	PROVISIONS	BY
08/23/08	FOR THE DEVELOPER LETTER DATED 08/23/08	M.A.
08/23/09	FOR THE DEVELOPER LETTER DATED 08/23/09	M.A.

DATE	PROVISIONS	BY
08/23/09	FOR THE DEVELOPER LETTER DATED 08/23/09	M.A.
08/23/10	FOR THE DEVELOPER LETTER DATED 08/23/10	M.A.

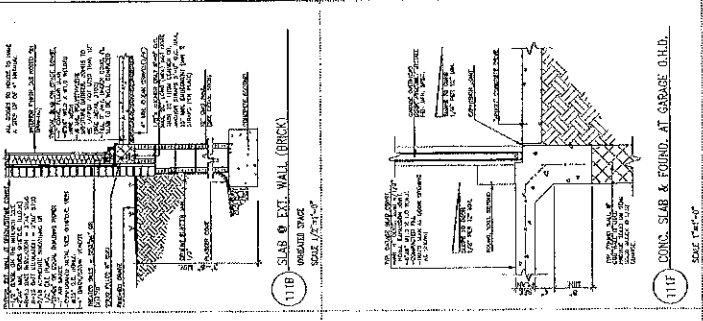
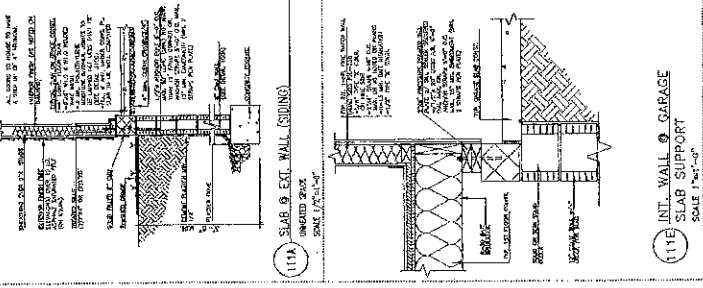
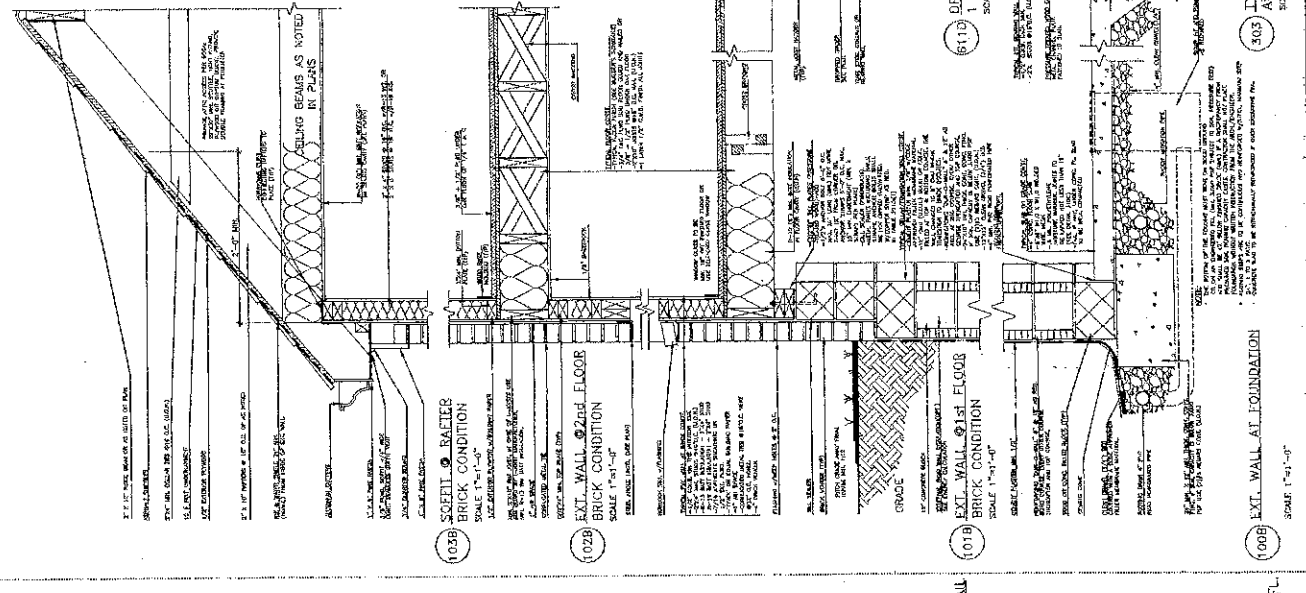
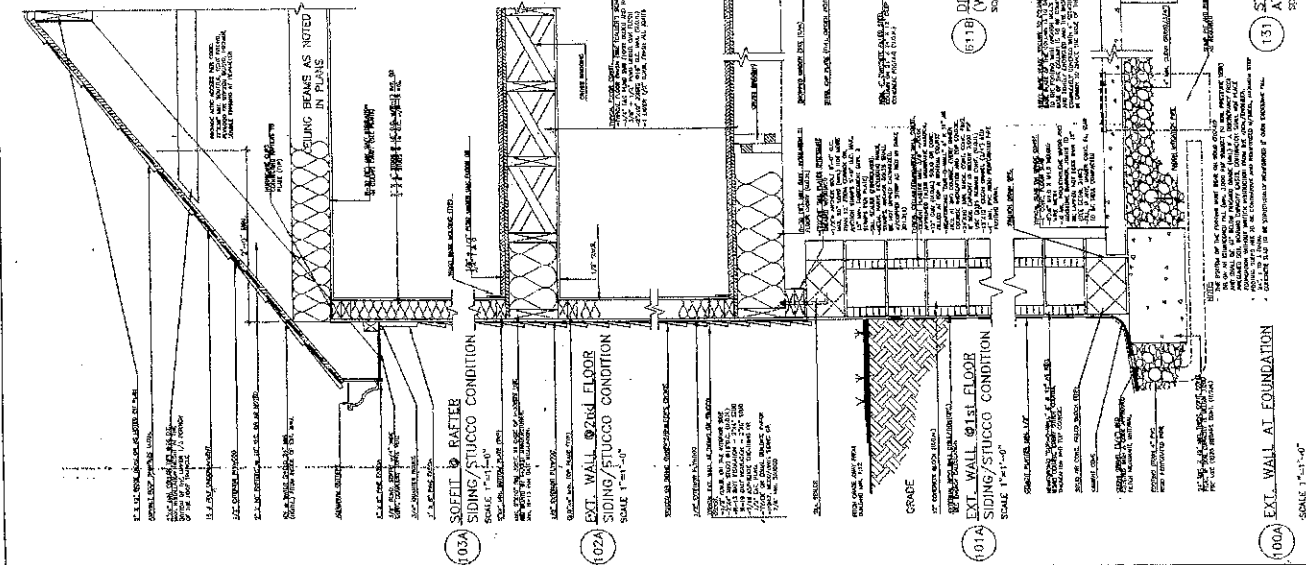
DATE	PROVISIONS	BY
08/23/10	FOR THE DEVELOPER LETTER DATED 08/23/10	M.A.
08/23/11	FOR THE DEVELOPER LETTER DATED 08/23/11	M.A.

DATE	PROVISIONS	BY
08/23/11	FOR THE DEVELOPER LETTER DATED 08/23/11	M.A.
08/23/12	FOR THE DEVELOPER LETTER DATED 08/23/12	M.A.

DATE	PROVISIONS	BY
08/23/12	FOR THE DEVELOPER LETTER DATED 08/23/12	M.A.
08/23/13	FOR THE DEVELOPER LETTER DATED 08/23/13	M.A.

DATE	PROVISIONS	BY
08/23/13	FOR THE DEVELOPER LETTER DATED 08/23/13	M.A.
08/23/14	FOR THE DEVELOPER LETTER DATED 08/23/14	M.A.

DATE	PROVISIONS	BY
08/23/14	FOR THE DEVELOPER LETTER DATED 08/23/14	M.A.
08/23/15	FOR THE DEVELOPER LETTER DATED 08/23/15	M.A.



THE DETAILS LISTED HEREIN ILLUSTRATE TYPICAL GENERAL CONSTRUCTION CONDITIONS AND ARE PART OF THE CONSTRUCTION DOCUMENTS. THE ARCHITECT ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OF THE INFORMATION CONTAINED HEREIN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL INFORMATION AND FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS. ANY CHANGES TO THE DETAILS LISTED HEREIN MUST BE APPROVED BY THE ARCHITECT IN WRITING. THE ARCHITECT SHALL BE RESPONSIBLE FOR AMENDING THE DETAILS ATTACHED.

DATE	DESCRIPTION	BY

**Wallisch Architects LLC AIA**  
 1000 SPRINGFIELD AVE. SUITE 2000 (408) 644-7900  
 MOUNTAIN VIEW, CALIFORNIA 94039

**TYP. SECTIONS AND DETAILS**  
 SLAB, CONCRETE, BRICK, SIDING, GARAGE SLAB DETAILS

QUANTITY'S	SCALE	DATE

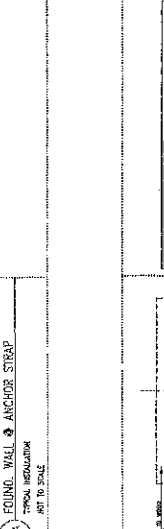
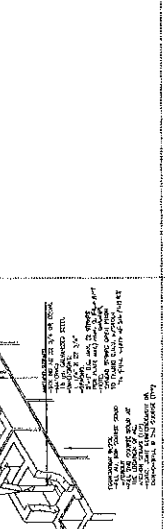
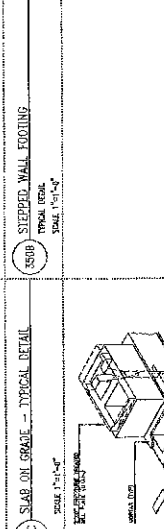
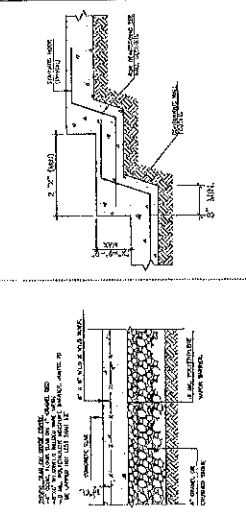
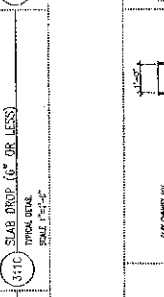
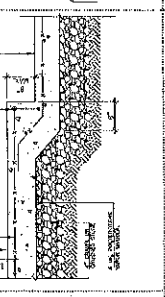
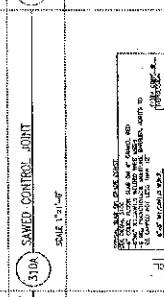
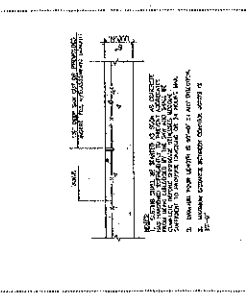
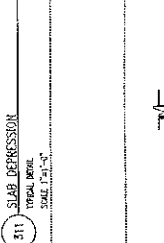
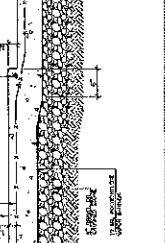
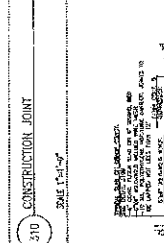
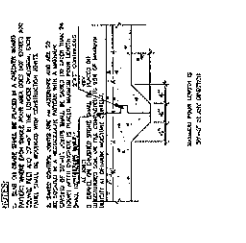
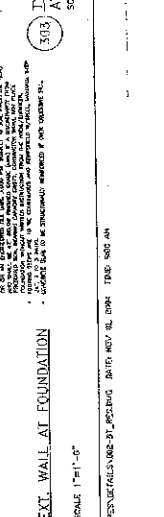
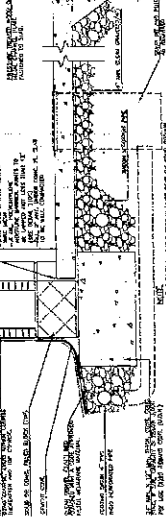
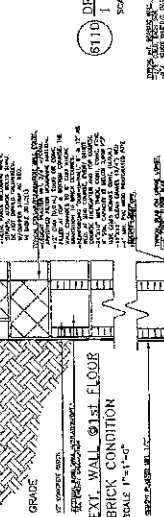
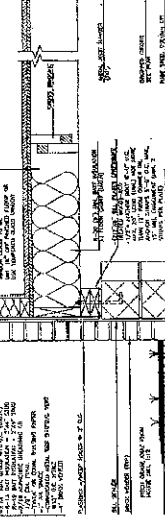
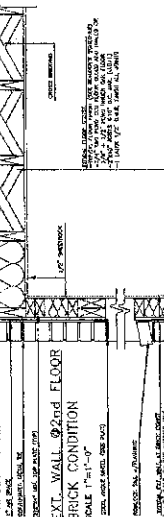
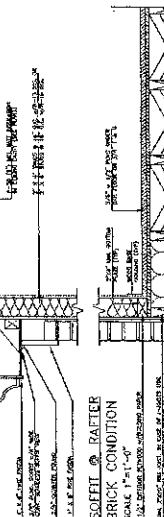
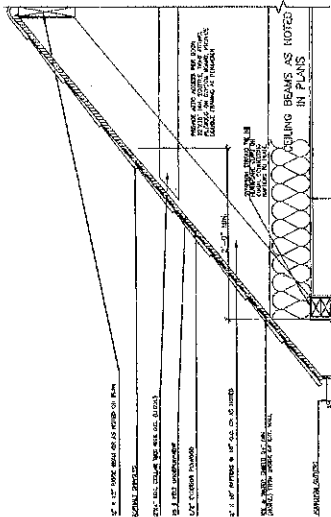
DATE	SCALE	DATE	BY

OWNER	DESIGNER	DATE

NO.	DATE	BY

APPROVED: *M.A.W.*

SCALE: 1"=1'-0"



THE DETAILS SHOWN HEREIN IN GENERAL ARE TYPICAL OF THE GENERAL CONSTRUCTION CONDITIONS AND ARE PART OF THE CONSTRUCTION DOCUMENTS. SPECIFIC INFORMATION, INCLUDING BUT NOT LIMITED TO, SHALL BE INCORPORATED ON THE PLAN DRAWINGS AND MAY SUPERSEDE AND/OR AMEND THE DETAILS ATTACHED.

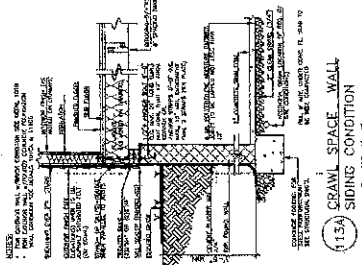
DATE: REVISIONS: RT

**Wellisch Architects LLC AIA**  
1000 SPRINGFIELD AVE SUITE 1000 (608) 664-9900  
MILWAUKEE, WISCONSIN

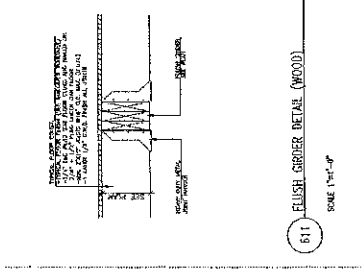
PROJECT: TYP. SECTIONS AND DETAILS  
FOUNDATION WALLS, CONCRETE DETAILS  
MASONRY, FIREPROOF DETAILS

DRAWN BY: SCALE: DRAWN BY: D.V.  
CHECKED BY: SCALE: APPROVED BY: Y.L.C.  
DATE: 11-19-11

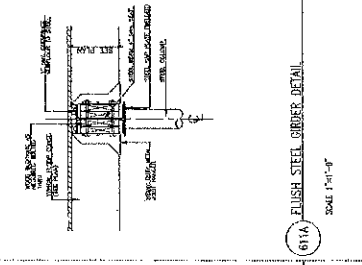
SHEET NO. **D2**



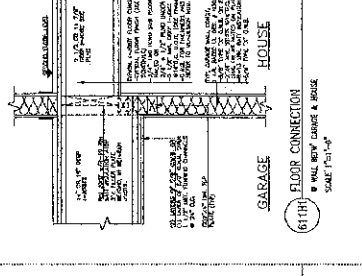
613) CRAWL SPACE WALL SIDING CONDITION  
SCALE 1/2"=1'-0"



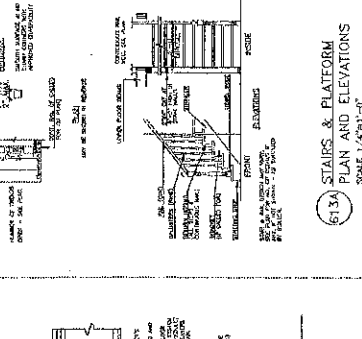
611) FLUSH CORNER DETAIL (WOOD)  
SCALE 1/4"=1'-0"



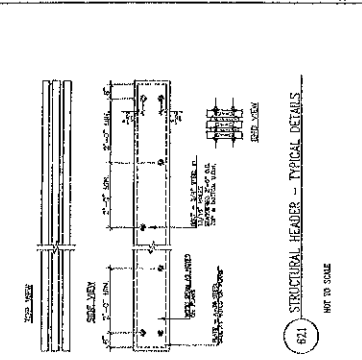
614) FLUSH STEEL CORNER DETAIL  
SCALE 1/4"=1'-0"



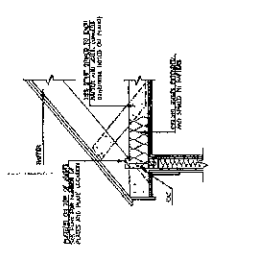
618H) FLOOR CONNECTOR  
SCALE 1/4"=1'-0"



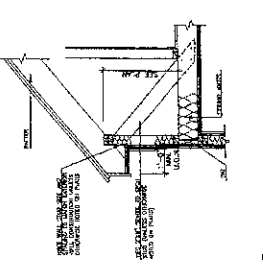
613A) STAIRS & PLATFORMS PLAN AND ELEVATIONS  
SCALE 1/4"=1'-0"



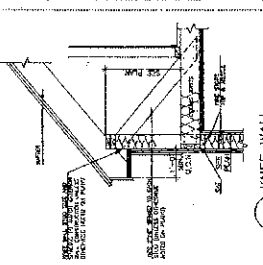
621) STRUCTURAL HEADER - TYPICAL DETAILS  
SCALE 1/4"=1'-0"



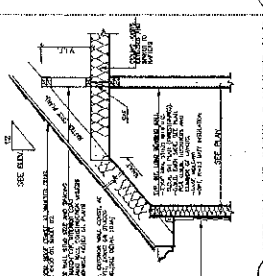
640B) PLATE ON TOP OF JOISTS  
SCALE 1/2"=1'-0"



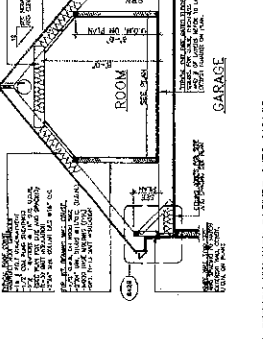
642B) KNEE WALL W/ ZIES  
SCALE 1/2"=1'-0"



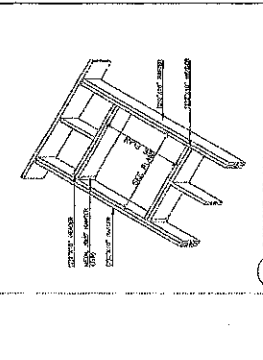
642D) KNEE WALL BALCONY FRAMING  
SCALE 1/2"=1'-0"



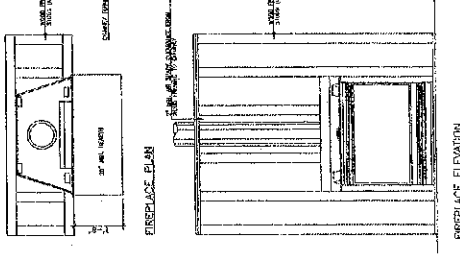
642F) KNEE WALL AND RAFTER & VAULTED CLING  
SCALE 1/2"=1'-0"



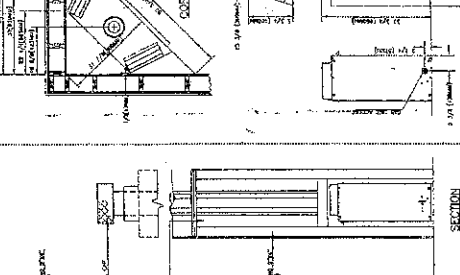
644G) SECTION THROUGH RAFTERS OVER GARAGE  
SCALE 1/4"=1'-0"



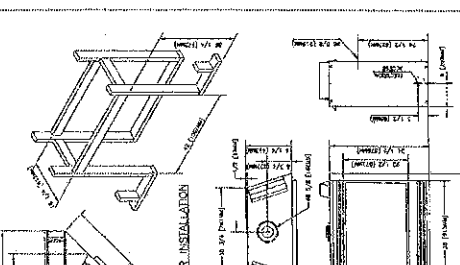
648) SKYLIGHT FRAMING  
SCALE 1/4"=1'-0"



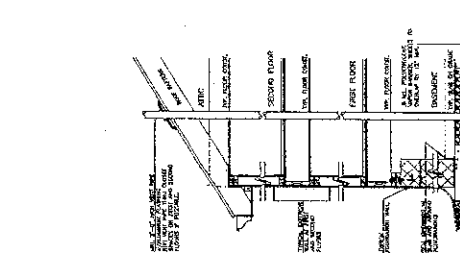
100) PREFABRICATED FIREPLACE  
SCALE 1/2"=1'-0"



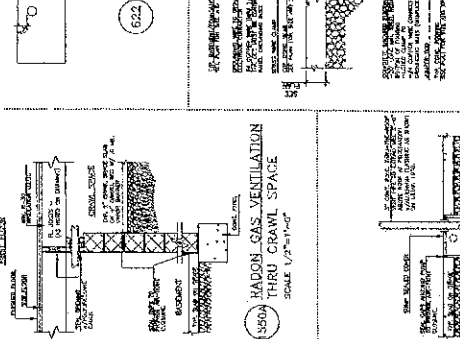
100A) PREFABRICATED FIREPLACE CORNER INSTALLATION  
SCALE 1/2"=1'-0"



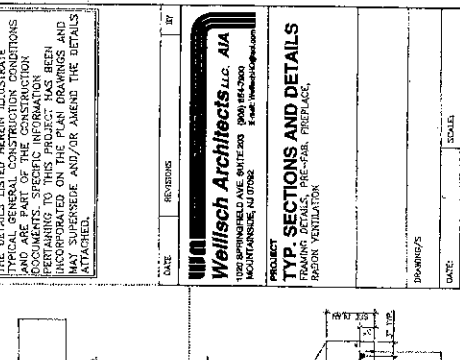
100B) PREFABRICATED FIREPLACE SIDE VIEW  
SCALE 1/2"=1'-0"



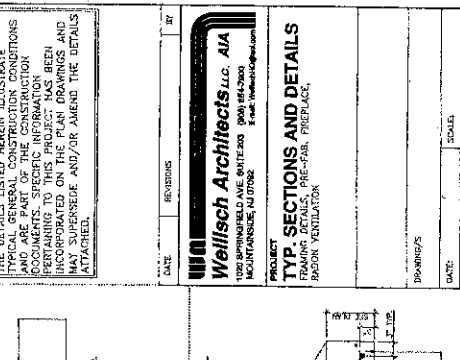
650) TYPICAL HOUSE SECTION  
SCALE 1/2"=1'-0"



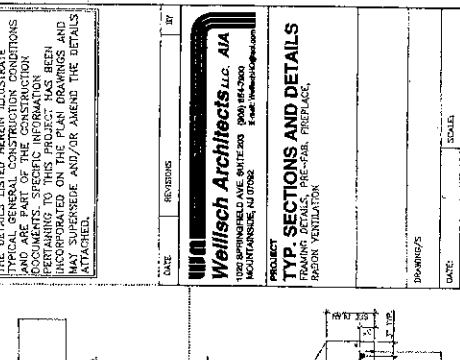
650A) RADON GAS VENTILATION THROUGH CRAWL SPACE  
SCALE 1/2"=1'-0"



650B) RADON GAS VENTILATION PRE-FAB SUMP  
SCALE 1/2"=1'-0"



650C) DETAILED JOIST  
SCALE 1"=1'-0"



650D) CONCRETE ENCASED ELECTRODE  
SCALE 1/4"=1'-0"

THE DETAILS LISTED HEREIN ILLUSTRATE TYPICAL GENERAL CONSTRUCTION CONDITIONS FOR THE INFORMATION OF THE ARCHITECT. SPECIFIC INFORMATION PERTAINING TO THIS PROJECT HAS BEEN INCORPORATED ON THE PLAN DRAWINGS AND REVISIONS AND/OR AMEND THE DETAILS AS APPLICABLE.

**Wellisch Architects, LLC AIA**  
1000 SPRINGFIELD AVE. SUITE 2000  
MCKEENVILLE, NJ 07092  
Tel: 908.486.2000  
Fax: 908.486.2001  
www.wellisch.com

**PROJECT**  
TYP. SECTIONS AND DETAILS  
RADON VENTILATION

DATE: 11/11/11  
REVISIONS:  
DRAWN BY: B.V.  
CHECKED BY: J.M.  
APPROVED BY: J.M.  
SCALE: 1/4"=1'-0"  
SHEET NO. D3  
OF 10  
DATE: 11/11/11

GENERAL NOTES

- 1. GENERAL CONDITIONS
2. FOUNDATION
3. CONCRETE
4. MASONRY
5. METALS
6. ROOF AND FLOORS
7. MECHANICAL
8. ELECTRICAL
9. SPECIALTIES

Table with 3 columns: No., Description of Work, and Quantity. Includes items like '1.000 sq. ft. of concrete', '1.000 sq. ft. of masonry', etc.

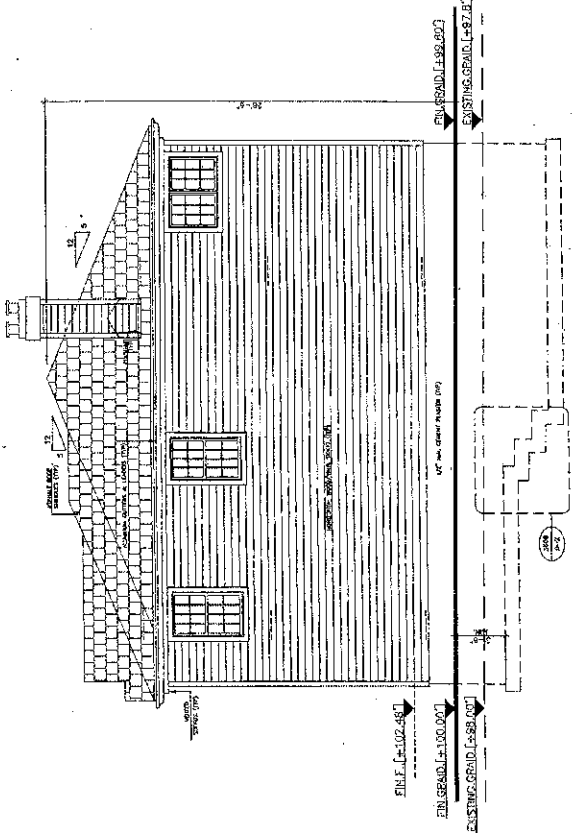
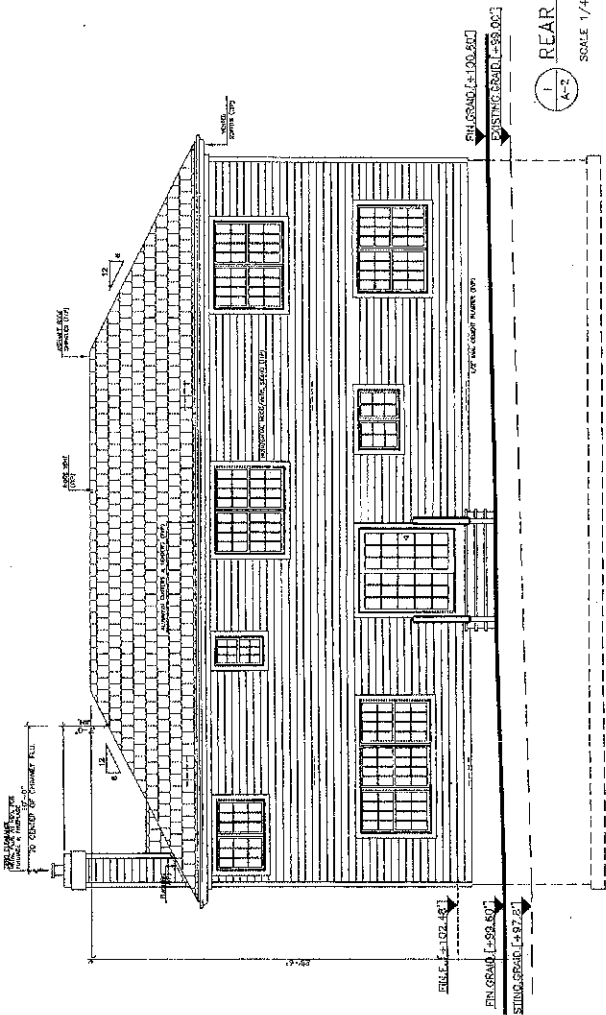
Table with 3 columns: No., Description of Work, and Quantity. Includes items like '1.000 sq. ft. of steel deck', '1.000 sq. ft. of insulation', etc.

154. THE ELECTRICAL EQUIPMENT, INCLUDING THE CABLES, CONTROLS SHALL BE PROVIDED BY THE CONTRACTOR...
155. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES...
156. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING STRUCTURES...

Wellisch Architects LLC, AIA
1000 SPRINGFIELD AVE. SUITE 203
MOUNTAIN VIEW, IL 60062
DATE: REVISIONS:
DRAWN BY: D.V.
APPROVED: Y.L.W.
SHEET NO. 61







**GRAND JURORS:**  
 THE BOARD OF TOWNSHIP ENGINEERS HAS REVIEWED THIS SET OF ARCHITECTURAL DRAWINGS FOR CONFORMANCE WITH THE ZONING ORDINANCE OF THE TOWNSHIP OF VERONA, NEW JERSEY. THE BOARD HAS CONCLUDED THAT THE PROPOSED PROJECT IS IN CONFORMANCE WITH THE ZONING ORDINANCE AND HAS THEREFORE APPROVED THIS SET OF ARCHITECTURAL DRAWINGS FOR SUBMISSION TO THE BOARD OF TOWNSHIP ENGINEERS FOR REVIEW AND APPROVAL. THIS APPROVAL IS LIMITED TO THE TECHNICAL ASPECTS OF THE DRAWINGS AND DOES NOT CONSTITUTE A GUARANTEE OF THE ACCURACY OF THE INFORMATION PROVIDED. THE BOARD DOES NOT TAKE ANY RESPONSIBILITY FOR ANY ERRORS OR OMISSIONS IN THESE DRAWINGS.

DATE	10/31/20	TOWNSHIP LETTER DATED	U.A.
BY	REVISIONS	DATE	BY
1			
2			

**Weilisch Architects LLC. AIA**  
 100 SPRINGFIELD AVENUE, SUITE 203  
 MOUNTAINVIEW, NJ 07092  
 PHONE: 908-466-7900  
 EMAIL: info@weilisch.com

**PROJECT:**  
 SINGLE FAMILY HOUSE  
 175 BROOKE AVE., VERONA TWP., ESSEX COUNTY, N.J.  
 1001 REALTY

DATE	10/31/20	SCALE	AS NOTED
COMPL. #	1012204	TOWNSHIP	U.A.
CONTRACT TYPE	104	APPROVED:	T.L.W.
TOTAL SHEETS	1012	DATE	
DATE THIS SHEET	10/31/20	BY	
		SEAL NO.	A2

**PROFESSIONAL SEAL**

WEILLISCH ARCHITECTS, L.L.C. AIA  
 1000 SPRINGFIELD BLVD. SUITE 200  
 MOBILE, ALABAMA 36688  
 PHONE: 251-948-7900  
 FAX: 251-948-7901  
 WWW.WEILLISCHARCHITECTS.COM

**PROJECT:**  
 SINGLE FAMILY HOUSE  
 117 S. BRIDGE AVE., VERONA TWP., ESSEX COUNTY, N.J.

**DATE:** 08/25/08  
**REVISIONS:**

**REVISIONS:**

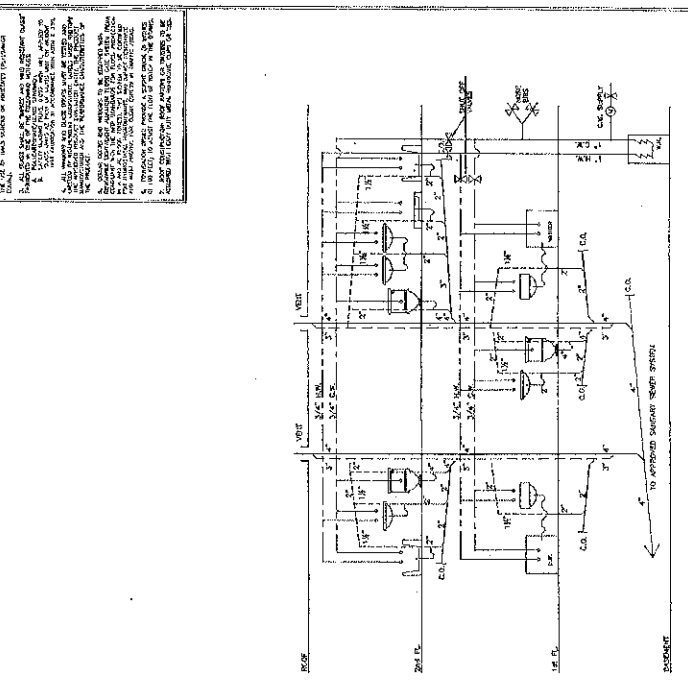
NO.	DATE	DESCRIPTION
1	08/25/08	ISSUED FOR PERMIT
2	08/25/08	ISSUED FOR PERMIT
3	08/25/08	ISSUED FOR PERMIT
4	08/25/08	ISSUED FOR PERMIT
5	08/25/08	ISSUED FOR PERMIT
6	08/25/08	ISSUED FOR PERMIT
7	08/25/08	ISSUED FOR PERMIT
8	08/25/08	ISSUED FOR PERMIT
9	08/25/08	ISSUED FOR PERMIT
10	08/25/08	ISSUED FOR PERMIT

**PROFESSIONAL SEAL**

WEILLISCH ARCHITECTS, L.L.C. AIA  
 1000 SPRINGFIELD BLVD. SUITE 200  
 MOBILE, ALABAMA 36688  
 PHONE: 251-948-7900  
 FAX: 251-948-7901  
 WWW.WEILLISCHARCHITECTS.COM

**PROJECT:**  
 SINGLE FAMILY HOUSE  
 117 S. BRIDGE AVE., VERONA TWP., ESSEX COUNTY, N.J.

**DATE:** 08/25/08  
**REVISIONS:**



**2 PLUMBING RISER DIAGRAM**  
 NOT TO SCALE

**FRAMING SCHEDULE**

These items are to be furnished by the contractor. The quantities are approximate and subject to change. The contractor shall verify the quantities and submit a schedule of materials to the architect for approval.

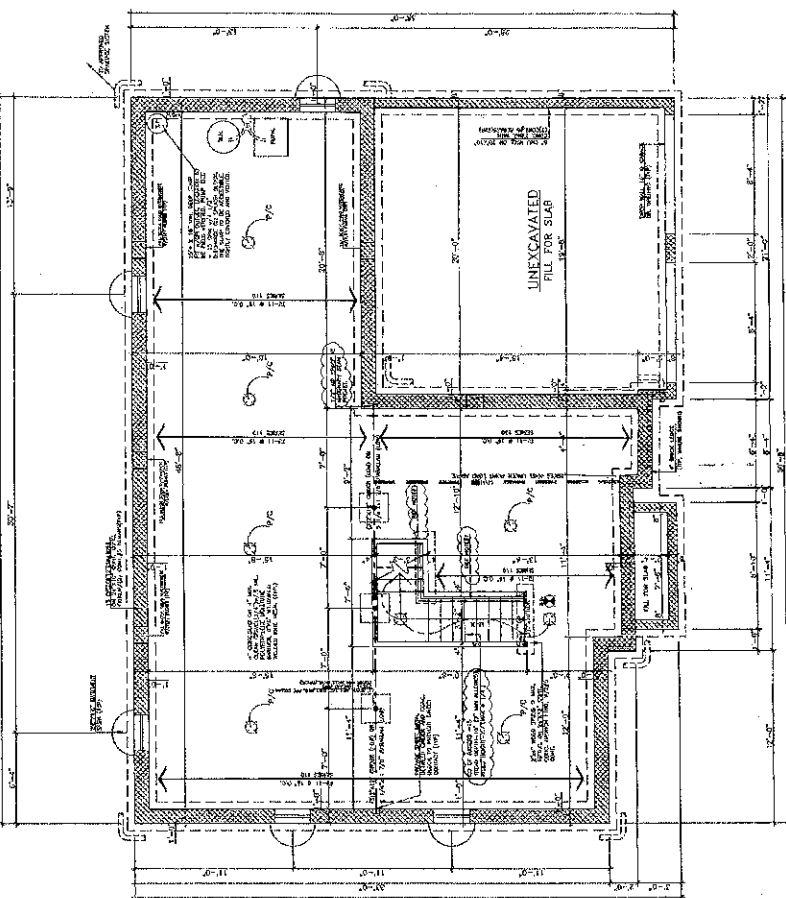
ITEM	DESCRIPTION	QUANTITY
1	2x4 SIPS	1200 LF
2	2x6 SIPS	1200 LF
3	2x8 SIPS	1200 LF
4	2x10 SIPS	1200 LF
5	2x12 SIPS	1200 LF
6	4x4 SIPS	1200 LF
7	4x6 SIPS	1200 LF
8	4x8 SIPS	1200 LF
9	4x10 SIPS	1200 LF
10	4x12 SIPS	1200 LF

**FRAMING SCHEDULE**

These items are to be furnished by the contractor. The quantities are approximate and subject to change. The contractor shall verify the quantities and submit a schedule of materials to the architect for approval.

**FRAMING SCHEDULE**

ITEM	DESCRIPTION	QUANTITY
1	2x4 SIPS	1200 LF
2	2x6 SIPS	1200 LF
3	2x8 SIPS	1200 LF
4	2x10 SIPS	1200 LF
5	2x12 SIPS	1200 LF
6	4x4 SIPS	1200 LF
7	4x6 SIPS	1200 LF
8	4x8 SIPS	1200 LF
9	4x10 SIPS	1200 LF
10	4x12 SIPS	1200 LF



**1 BASEMENT/FOUNDATION PLAN**  
 SCALE 1/4"=1'-0"  
 AREA - 1386.00 S.F. VOLUME - 12474.00 C.F.

**NOTES:**  
 1. UNEXCAVATED FILL FOR SLAB SHALL BE RETURNED TO THE WALL AT THE END OR TO THE NEVEL POST.  
 2. HANDRAIL HEIGHT SHALL BE 36" MIN. TO THE MAX. TO THE NEXT LEVEL. SPACE NOT LESS THAN 1 1/2" BETWEEN THE WALL AND THE HANDRAIL.

**NOTES:**  
 IF CLOSET IS CREATED UNDER BASEMENT STAIR INTERIOR MUST BE SHEATHED.  
 ALL FOOTINGS SHALL BE ON A MASON WALL.

**NOTES:**  
 1. UNEXCAVATED FILL FOR SLAB SHALL BE RETURNED TO THE WALL AT THE END OR TO THE NEVEL POST.  
 2. HANDRAIL HEIGHT SHALL BE 36" MIN. TO THE MAX. TO THE NEXT LEVEL. SPACE NOT LESS THAN 1 1/2" BETWEEN THE WALL AND THE HANDRAIL.

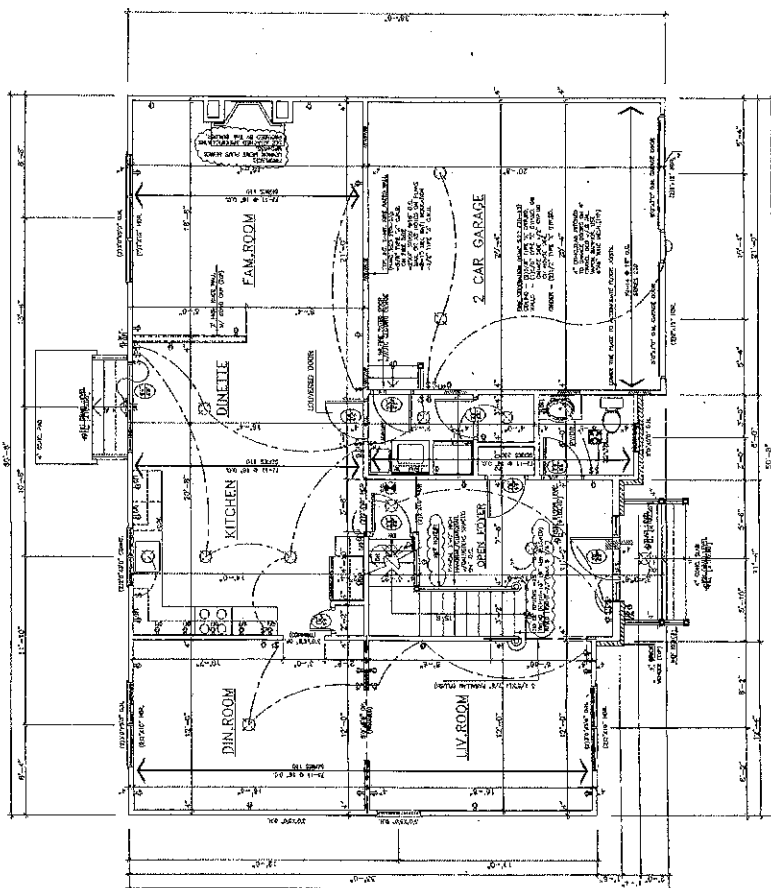
**NOTES:**  
 IF CLOSET IS CREATED UNDER BASEMENT STAIR INTERIOR MUST BE SHEATHED.  
 ALL FOOTINGS SHALL BE ON A MASON WALL.

**NOTES:**  
 1. UNEXCAVATED FILL FOR SLAB SHALL BE RETURNED TO THE WALL AT THE END OR TO THE NEVEL POST.  
 2. HANDRAIL HEIGHT SHALL BE 36" MIN. TO THE MAX. TO THE NEXT LEVEL. SPACE NOT LESS THAN 1 1/2" BETWEEN THE WALL AND THE HANDRAIL.

**NOTES:**  
 IF CLOSET IS CREATED UNDER BASEMENT STAIR INTERIOR MUST BE SHEATHED.  
 ALL FOOTINGS SHALL BE ON A MASON WALL.

**GENERAL NOTES:**

1. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODES (IBC) AND ALL APPLICABLE LOCAL ORDINANCES.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.
3. ALL MATERIALS AND WORKMANSHIP SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE ARCHITECT AND/OR LOCAL OFFICIALS.
4. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES.
5. ALL UTILITIES SHALL BE LOCATED AND DEPTH MARKED PRIOR TO CONSTRUCTION.
6. THE CONTRACTOR SHALL PROTECT ALL EXISTING UTILITIES AND STRUCTURES TO REMAIN.
7. ALL FOUNDATIONS SHALL BE CONSTRUCTED TO THE REQUIRED DEPTHS AND WITH THE REQUIRED REINFORCEMENT.
8. ALL ROOFING SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S REQUIREMENTS.
9. ALL EXTERIOR FINISHES SHALL BE INSTALLED IN ACCORDANCE WITH THE ARCHITECT'S SCHEDULE.
10. ALL INTERIORS SHALL BE FINISHED TO THE ARCHITECT'S SCHEDULE.
11. ALL MECHANICAL, ELECTRICAL, AND PLUMBING (MEP) SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE NATIONAL ELECTRICAL CODE (NEC), NATIONAL PLUMBING CODE (NPC), AND NATIONAL MECHANICAL CODE (NMC).
12. ALL MECHANICAL, ELECTRICAL, AND PLUMBING (MEP) SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH THE ARCHITECT'S SCHEDULE.
13. ALL MECHANICAL, ELECTRICAL, AND PLUMBING (MEP) SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH THE ARCHITECT'S SCHEDULE.
14. ALL MECHANICAL, ELECTRICAL, AND PLUMBING (MEP) SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH THE ARCHITECT'S SCHEDULE.
15. ALL MECHANICAL, ELECTRICAL, AND PLUMBING (MEP) SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH THE ARCHITECT'S SCHEDULE.



**NOTES:**

1. (S PER SECTION R 315) CONTINUOUS DISAPPEAR HANDRAIL (MIN 1 1/4" CIRCULAR CROSS SECTION TO 2" WALL AT THE END OR TO THE CORNER POST; HANDRAIL HEIGHT SHALL BE 35" (MIN 30" MAX 38") HANDRAIL ADJACENT TO THE WALL SHALL BE INSTALLED WITH A MINIMUM 1" GAP BETWEEN THE WALL AND THE HANDRAIL.

**1 FIRST FLOOR PLAN**  
 SCALE 1/4"=1'-0" AREA - 1379.00 S.F. VOLUME - 13790.00 CU'

**GENERAL NOTES:**

1. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODES (IBC) AND ALL APPLICABLE LOCAL ORDINANCES.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.
3. ALL MATERIALS AND WORKMANSHIP SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE ARCHITECT AND/OR LOCAL OFFICIALS.
4. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES.
5. ALL UTILITIES SHALL BE LOCATED AND DEPTH MARKED PRIOR TO CONSTRUCTION.
6. THE CONTRACTOR SHALL PROTECT ALL EXISTING UTILITIES AND STRUCTURES TO REMAIN.
7. ALL FOUNDATIONS SHALL BE CONSTRUCTED TO THE REQUIRED DEPTHS AND WITH THE REQUIRED REINFORCEMENT.
8. ALL ROOFING SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S REQUIREMENTS.
9. ALL EXTERIOR FINISHES SHALL BE INSTALLED IN ACCORDANCE WITH THE ARCHITECT'S SCHEDULE.
10. ALL INTERIORS SHALL BE FINISHED TO THE ARCHITECT'S SCHEDULE.
11. ALL MECHANICAL, ELECTRICAL, AND PLUMBING (MEP) SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE NATIONAL ELECTRICAL CODE (NEC), NATIONAL PLUMBING CODE (NPC), AND NATIONAL MECHANICAL CODE (NMC).
12. ALL MECHANICAL, ELECTRICAL, AND PLUMBING (MEP) SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH THE ARCHITECT'S SCHEDULE.
13. ALL MECHANICAL, ELECTRICAL, AND PLUMBING (MEP) SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH THE ARCHITECT'S SCHEDULE.
14. ALL MECHANICAL, ELECTRICAL, AND PLUMBING (MEP) SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH THE ARCHITECT'S SCHEDULE.
15. ALL MECHANICAL, ELECTRICAL, AND PLUMBING (MEP) SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH THE ARCHITECT'S SCHEDULE.

**GENERAL NOTES:**

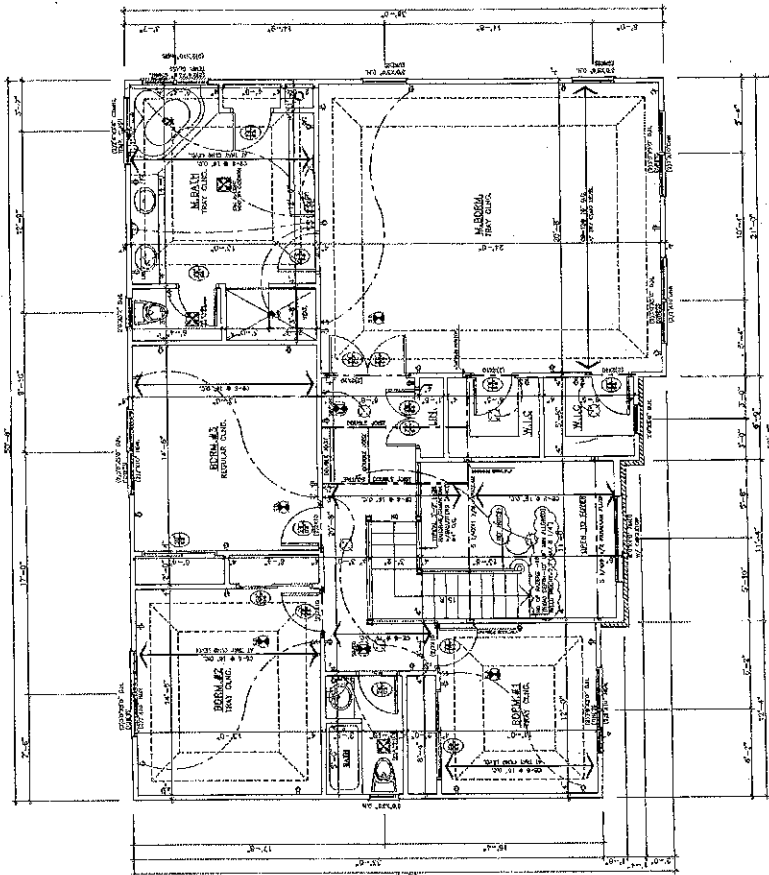
1. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODES (IBC) AND ALL APPLICABLE LOCAL ORDINANCES.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.
3. ALL MATERIALS AND WORKMANSHIP SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE ARCHITECT AND/OR LOCAL OFFICIALS.
4. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES.
5. ALL UTILITIES SHALL BE LOCATED AND DEPTH MARKED PRIOR TO CONSTRUCTION.
6. THE CONTRACTOR SHALL PROTECT ALL EXISTING UTILITIES AND STRUCTURES TO REMAIN.
7. ALL FOUNDATIONS SHALL BE CONSTRUCTED TO THE REQUIRED DEPTHS AND WITH THE REQUIRED REINFORCEMENT.
8. ALL ROOFING SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S REQUIREMENTS.
9. ALL EXTERIOR FINISHES SHALL BE INSTALLED IN ACCORDANCE WITH THE ARCHITECT'S SCHEDULE.
10. ALL INTERIORS SHALL BE FINISHED TO THE ARCHITECT'S SCHEDULE.
11. ALL MECHANICAL, ELECTRICAL, AND PLUMBING (MEP) SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE NATIONAL ELECTRICAL CODE (NEC), NATIONAL PLUMBING CODE (NPC), AND NATIONAL MECHANICAL CODE (NMC).
12. ALL MECHANICAL, ELECTRICAL, AND PLUMBING (MEP) SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH THE ARCHITECT'S SCHEDULE.
13. ALL MECHANICAL, ELECTRICAL, AND PLUMBING (MEP) SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH THE ARCHITECT'S SCHEDULE.
14. ALL MECHANICAL, ELECTRICAL, AND PLUMBING (MEP) SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH THE ARCHITECT'S SCHEDULE.
15. ALL MECHANICAL, ELECTRICAL, AND PLUMBING (MEP) SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH THE ARCHITECT'S SCHEDULE.

DATE	REVISIONS	BY
05/18/06		
06/12/06		
06/12/06		
06/12/06		

**Wellisch Architects LLC AIA**  
 1020 SPRINGFIELD AVE. SUITE 200 (PH: 854-7900)  
 MOUNTAINEER, N. CAROLINA  
 Email: wellisch@wellisch.com

**PROJECT:**  
 SINGLE FAMILY HOUSE  
 BLOCK 65, LOT # 6.01  
 175 BROOK AVE., VERNON, TN., ESSEX COUNTY, N.C.

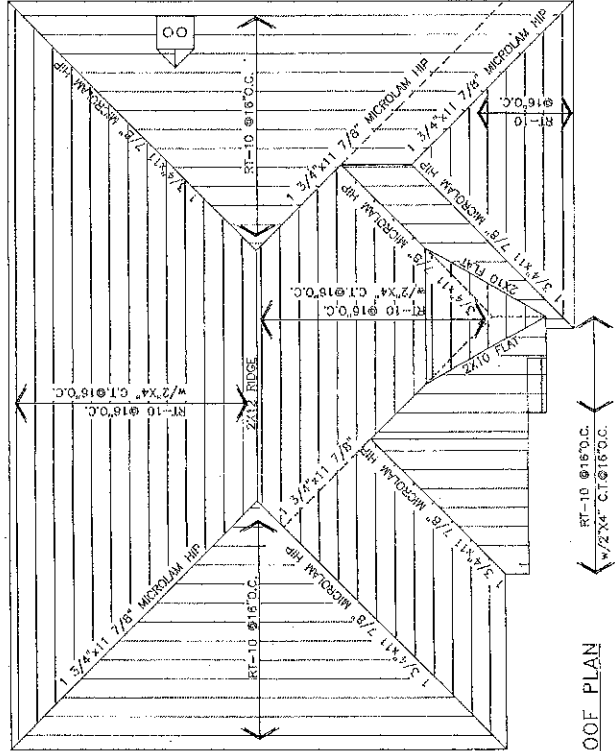
**DATE:** 05/18/06 **SCALE:** AS NOTED  
**COMPILED:** 06/12/06 **DRAWN BY:** H.A.  
**CONTR. TYPE:** **APPROVED:** T.L.W.  
**TOTAL SQUARE FEET:** **SHEET NO.:** A4  
**NO. OF SHEETS:** **DATE:**



**1 SECOND FLOOR PLAN**  
 SCALE 1/4"=1'-0"  
 AREA = 1653.00 S.F. VOLUME = 13164.00 C.F.

**NOTE #1:** (AS PER SECTION 9.316) CONTIGUOUS GRASPABLE HANDRAIL MIN 1 1/4" CIRCULAR CROSS SECTION TO 2 WALLS. THE END OF THE HANDRAIL SHALL BE 3/4" FROM THE EDGE OF THE WALL. THE HANDRAIL HEIGHT SHALL BE 36" (MIN 30" MAX 38"). HANDRAIL ADJACENT TO THE WALL SHALL HAVE A SPACE BETWEEN THE WALL AND THE HANDRAIL.

**NOTE #2:** THIS SERVICE 3/4" WIDE IN LESS MAX TO AND AROUND THE MECHANICAL EQUIPMENT. THE FLOOR OF THE ATTIC SHALL HAVE 1/2" THICK PLYWOOD MIN.



**2 ROOF PLAN**  
 SCALE 1/4"=1'-0"

DATE	08/22/06	BY	RT
DATE	08/22/06	BY	RT
DATE	08/22/06	BY	RT
DATE	08/22/06	BY	RT

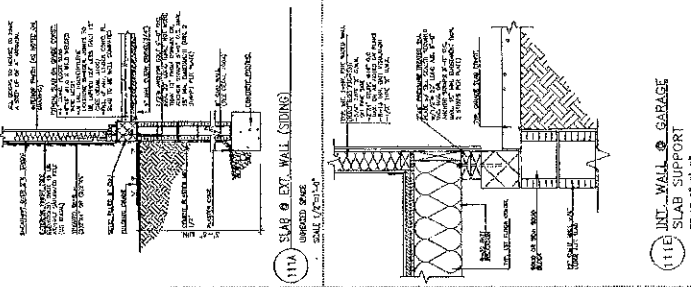
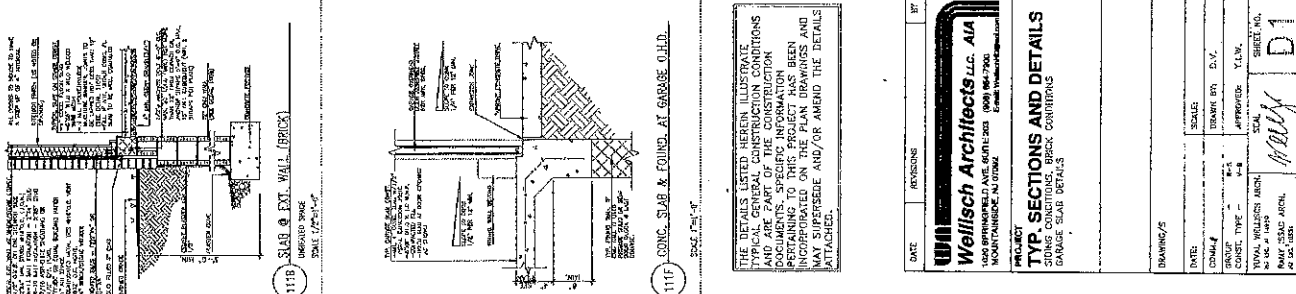
PROJECT: **SINGLE FAMILY HOUSE**  
 372 GROVE AVE., ANDOVER, MASS., ESSEX COUNTY, MASS.  
 01810

WELLSCH ARCHITECTS LLC, AIA  
 1000 WASHINGTON STREET, SUITE 200  
 ANDOVER, MASSACHUSETTS 01810

**FRAMING SCHEDULE**

Type	Description	Design Loads
CH1	6" x 8" WOOD JOIST	LL: 40 PSF (40 PSF) (40 PSF) (40 PSF)
CH2	6" x 10" WOOD JOIST	LL: 40 PSF (40 PSF) (40 PSF) (40 PSF)
CH3	6" x 12" WOOD JOIST	LL: 40 PSF (40 PSF) (40 PSF) (40 PSF)
CH4	6" x 14" WOOD JOIST	LL: 40 PSF (40 PSF) (40 PSF) (40 PSF)
CH5	6" x 16" WOOD JOIST	LL: 40 PSF (40 PSF) (40 PSF) (40 PSF)
CH6	6" x 18" WOOD JOIST	LL: 40 PSF (40 PSF) (40 PSF) (40 PSF)
CH7	6" x 20" WOOD JOIST	LL: 40 PSF (40 PSF) (40 PSF) (40 PSF)
CH8	6" x 22" WOOD JOIST	LL: 40 PSF (40 PSF) (40 PSF) (40 PSF)
CH9	6" x 24" WOOD JOIST	LL: 40 PSF (40 PSF) (40 PSF) (40 PSF)
CH10	6" x 26" WOOD JOIST	LL: 40 PSF (40 PSF) (40 PSF) (40 PSF)
CH11	6" x 28" WOOD JOIST	LL: 40 PSF (40 PSF) (40 PSF) (40 PSF)
CH12	6" x 30" WOOD JOIST	LL: 40 PSF (40 PSF) (40 PSF) (40 PSF)
CH13	6" x 32" WOOD JOIST	LL: 40 PSF (40 PSF) (40 PSF) (40 PSF)
CH14	6" x 34" WOOD JOIST	LL: 40 PSF (40 PSF) (40 PSF) (40 PSF)
CH15	6" x 36" WOOD JOIST	LL: 40 PSF (40 PSF) (40 PSF) (40 PSF)
CH16	6" x 38" WOOD JOIST	LL: 40 PSF (40 PSF) (40 PSF) (40 PSF)
CH17	6" x 40" WOOD JOIST	LL: 40 PSF (40 PSF) (40 PSF) (40 PSF)
CH18	6" x 42" WOOD JOIST	LL: 40 PSF (40 PSF) (40 PSF) (40 PSF)
CH19	6" x 44" WOOD JOIST	LL: 40 PSF (40 PSF) (40 PSF) (40 PSF)
CH20	6" x 46" WOOD JOIST	LL: 40 PSF (40 PSF) (40 PSF) (40 PSF)
CH21	6" x 48" WOOD JOIST	LL: 40 PSF (40 PSF) (40 PSF) (40 PSF)
CH22	6" x 50" WOOD JOIST	LL: 40 PSF (40 PSF) (40 PSF) (40 PSF)
CH23	6" x 52" WOOD JOIST	LL: 40 PSF (40 PSF) (40 PSF) (40 PSF)
CH24	6" x 54" WOOD JOIST	LL: 40 PSF (40 PSF) (40 PSF) (40 PSF)
CH25	6" x 56" WOOD JOIST	LL: 40 PSF (40 PSF) (40 PSF) (40 PSF)
CH26	6" x 58" WOOD JOIST	LL: 40 PSF (40 PSF) (40 PSF) (40 PSF)
CH27	6" x 60" WOOD JOIST	LL: 40 PSF (40 PSF) (40 PSF) (40 PSF)
CH28	6" x 62" WOOD JOIST	LL: 40 PSF (40 PSF) (40 PSF) (40 PSF)
CH29	6" x 64" WOOD JOIST	LL: 40 PSF (40 PSF) (40 PSF) (40 PSF)
CH30	6" x 66" WOOD JOIST	LL: 40 PSF (40 PSF) (40 PSF) (40 PSF)
CH31	6" x 68" WOOD JOIST	LL: 40 PSF (40 PSF) (40 PSF) (40 PSF)
CH32	6" x 70" WOOD JOIST	LL: 40 PSF (40 PSF) (40 PSF) (40 PSF)
CH33	6" x 72" WOOD JOIST	LL: 40 PSF (40 PSF) (40 PSF) (40 PSF)
CH34	6" x 74" WOOD JOIST	LL: 40 PSF (40 PSF) (40 PSF) (40 PSF)
CH35	6" x 76" WOOD JOIST	LL: 40 PSF (40 PSF) (40 PSF) (40 PSF)
CH36	6" x 78" WOOD JOIST	LL: 40 PSF (40 PSF) (40 PSF) (40 PSF)
CH37	6" x 80" WOOD JOIST	LL: 40 PSF (40 PSF) (40 PSF) (40 PSF)
CH38	6" x 82" WOOD JOIST	LL: 40 PSF (40 PSF) (40 PSF) (40 PSF)
CH39	6" x 84" WOOD JOIST	LL: 40 PSF (40 PSF) (40 PSF) (40 PSF)
CH40	6" x 86" WOOD JOIST	LL: 40 PSF (40 PSF) (40 PSF) (40 PSF)
CH41	6" x 88" WOOD JOIST	LL: 40 PSF (40 PSF) (40 PSF) (40 PSF)
CH42	6" x 90" WOOD JOIST	LL: 40 PSF (40 PSF) (40 PSF) (40 PSF)
CH43	6" x 92" WOOD JOIST	LL: 40 PSF (40 PSF) (40 PSF) (40 PSF)
CH44	6" x 94" WOOD JOIST	LL: 40 PSF (40 PSF) (40 PSF) (40 PSF)
CH45	6" x 96" WOOD JOIST	LL: 40 PSF (40 PSF) (40 PSF) (40 PSF)
CH46	6" x 98" WOOD JOIST	LL: 40 PSF (40 PSF) (40 PSF) (40 PSF)
CH47	6" x 100" WOOD JOIST	LL: 40 PSF (40 PSF) (40 PSF) (40 PSF)

**NOTES:**  
 1. All framing shall be installed in accordance with the manufacturer's instructions.  
 2. All framing shall be installed in accordance with the applicable building code.  
 3. All framing shall be installed in accordance with the applicable local code.  
 4. All framing shall be installed in accordance with the applicable state code.  
 5. All framing shall be installed in accordance with the applicable federal code.



THE DETAILS LISTED HEREIN ILLUSTRATE TYPICAL GENERAL CONSTRUCTION CONDITIONS AND ARE PART OF THE CONSTRUCTION PROGRAM FOR THIS PROJECT. ANY CHANGES TO THE PLAN DRAWINGS AND SPECIFICATIONS MUST BE INCORPORATED INTO THE CONSTRUCTION DOCUMENTS. THE ARCHITECT'S OFFICE WILL SUPERSEDE AND/OR AMEND THE DETAILS ATTACHED.

DATE	REVISIONS	BY

**Wellisch Architects LLC AIA**  
1808 SPRINGDALE AVENUE, SUITE 100 • SPOKANE, IDAHO 83402  
PH: 208.325.8800 • FAX: 208.325.8801 • WWW.WELLISCHARCHITECTS.COM

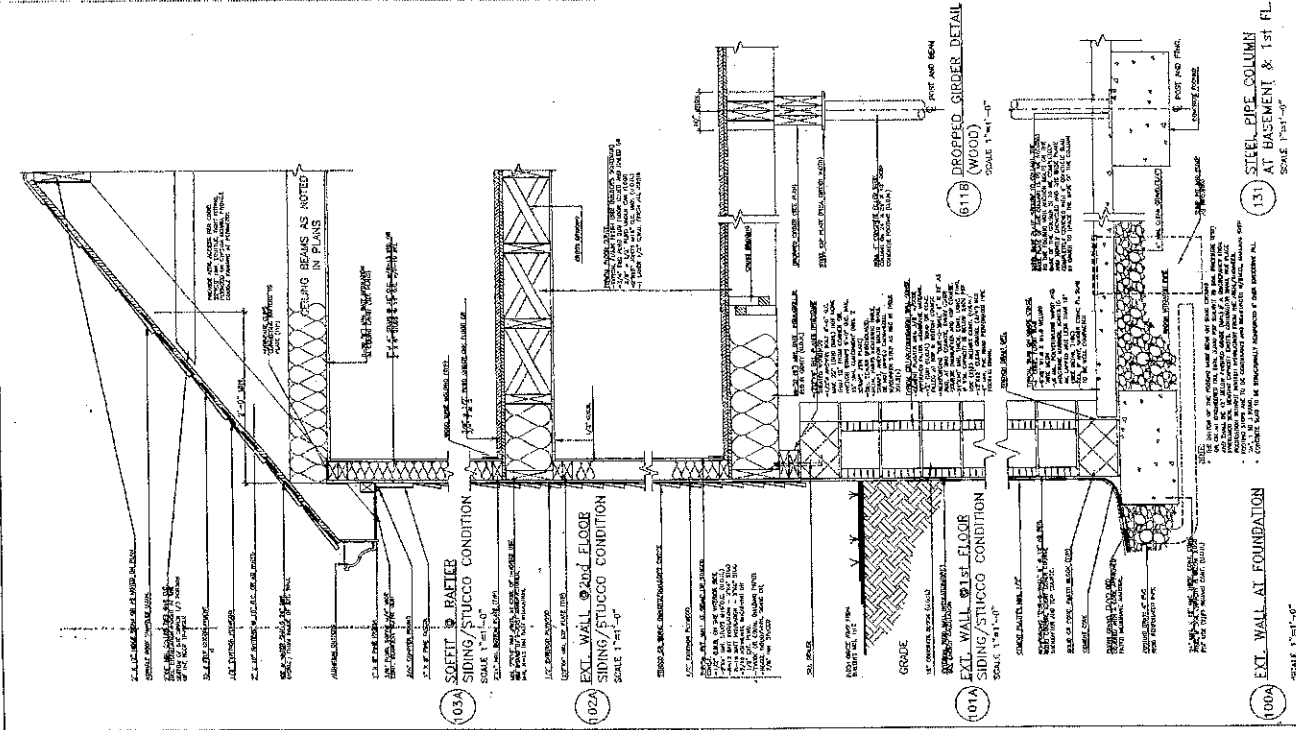
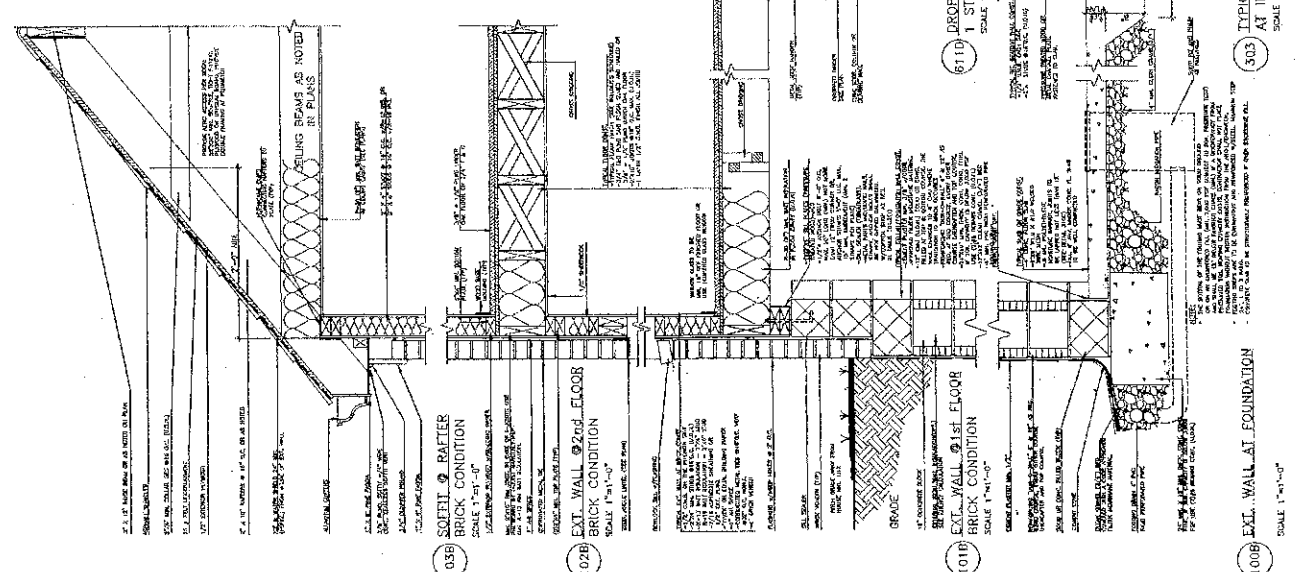
### TYP SECTIONS AND DETAILS

JOINING CONDITIONS BRICK GARAGING  
GARAGE SLAB DETAILS

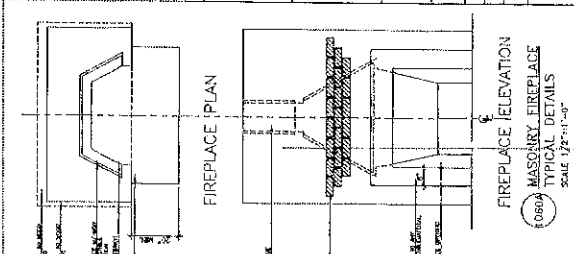
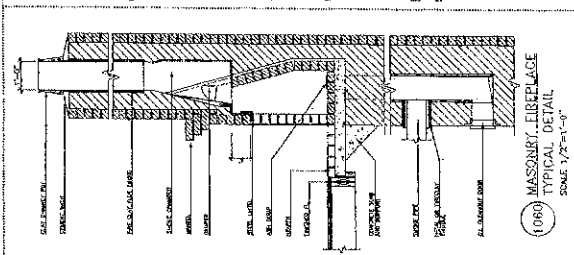
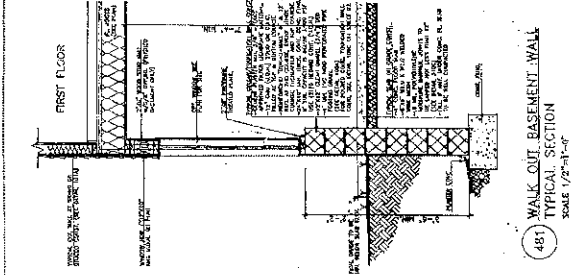
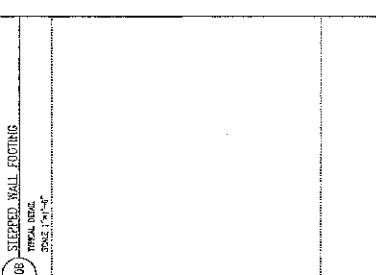
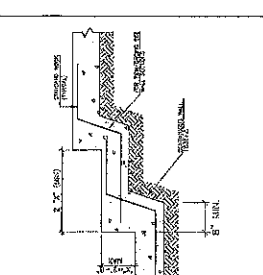
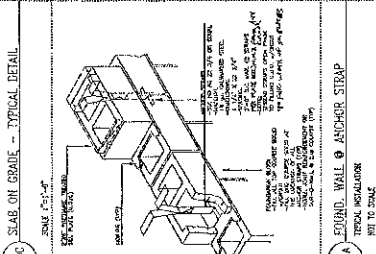
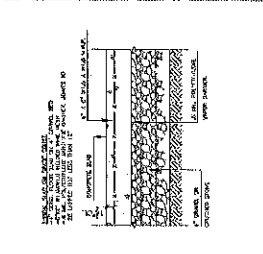
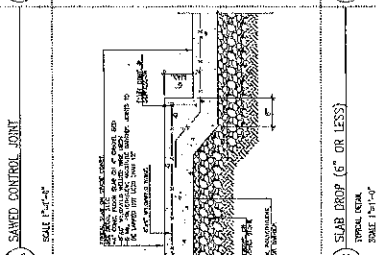
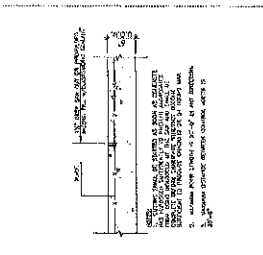
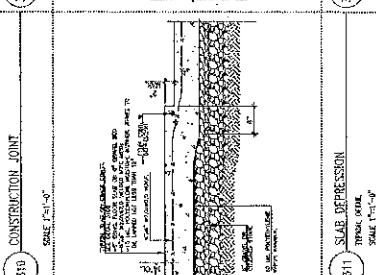
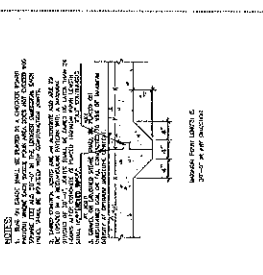
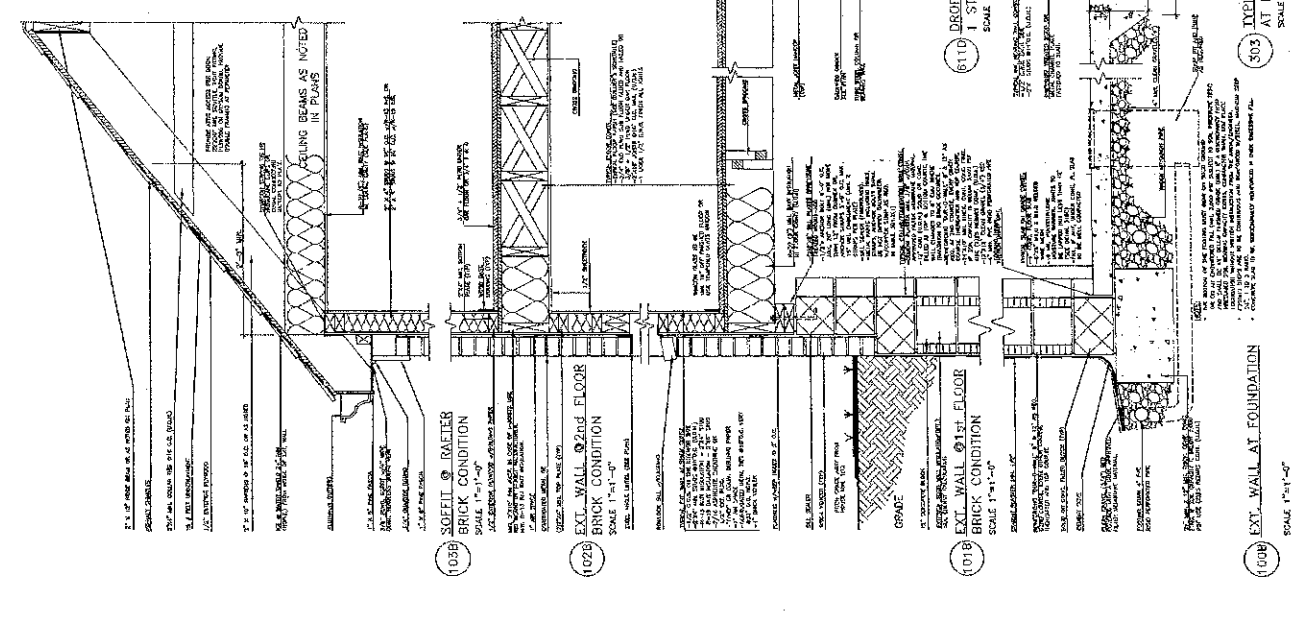
DRAWING NO. \_\_\_\_\_

DATE: \_\_\_\_\_ SCALE: \_\_\_\_\_  
DESIGNED BY: \_\_\_\_\_ CHECKED BY: \_\_\_\_\_  
DRAWN BY: \_\_\_\_\_ APPROVED BY: \_\_\_\_\_

CONST. TYPE: \_\_\_\_\_ SHEET NO. \_\_\_\_\_  
SHEET TOTAL: \_\_\_\_\_  
SCALE: \_\_\_\_\_  
DRAWN BY: M.W.M. DATE: \_\_\_\_\_



NAME: H-400-D-PRINTED-FILE-NAME-WIN-17-REVISION- 31750-440-73-2894- TWO: 280-181



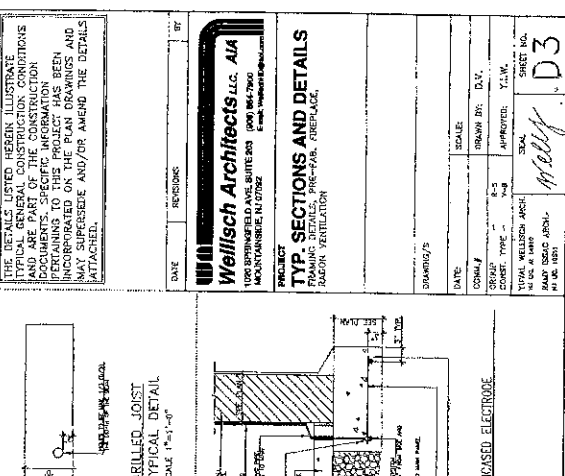
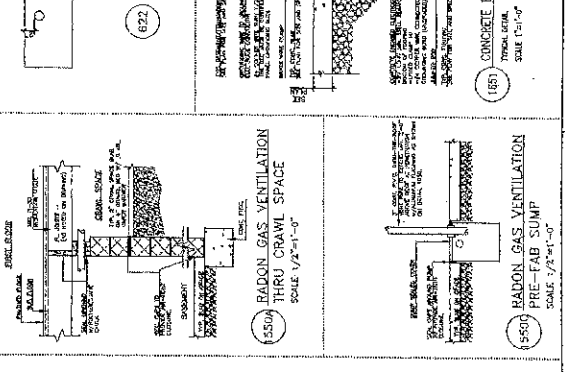
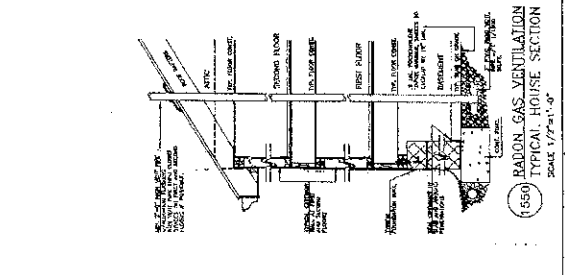
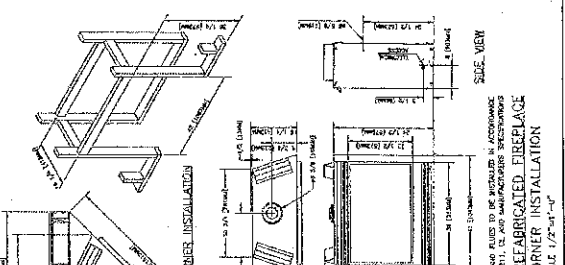
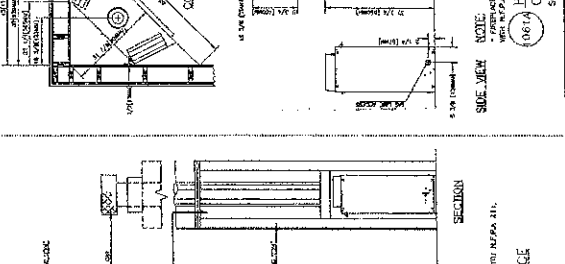
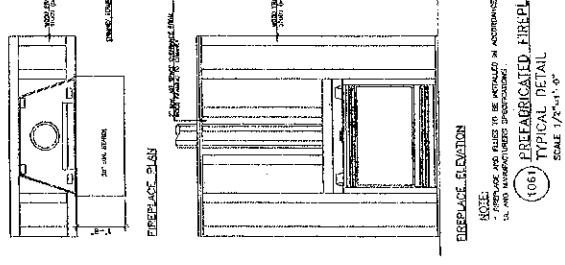
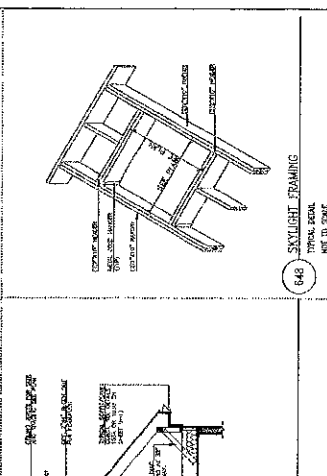
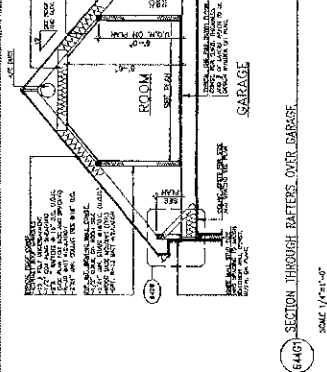
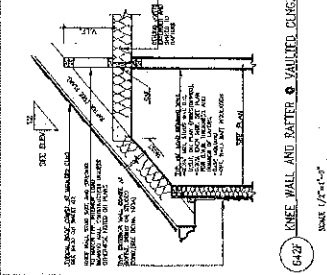
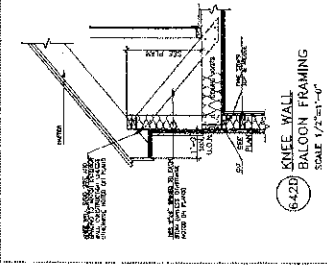
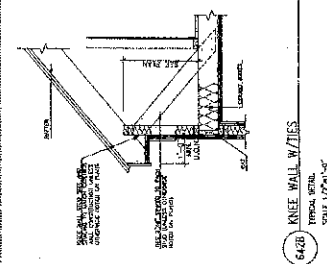
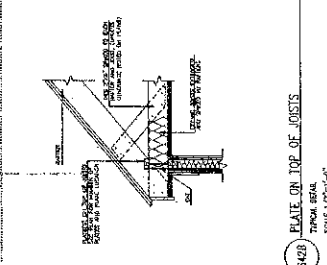
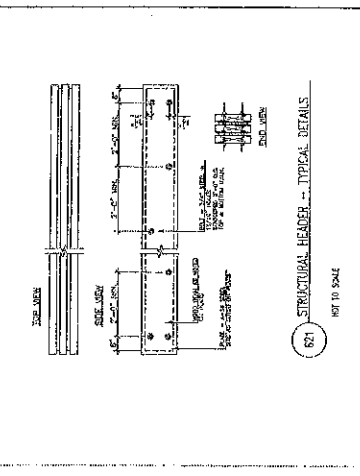
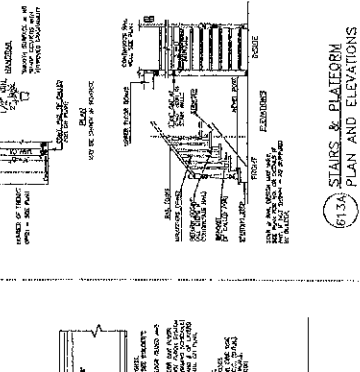
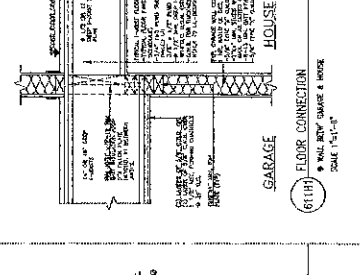
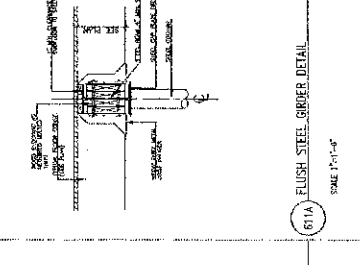
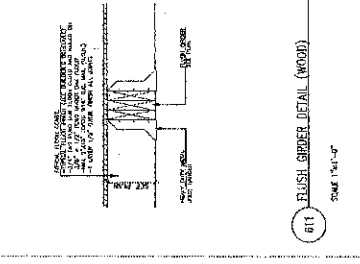
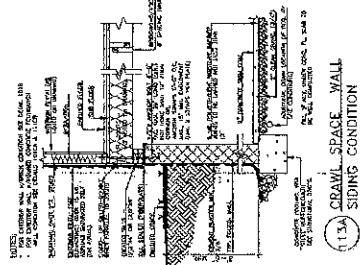
THE DETAILS LISTED HEREIN ILLUSTRATE THE CONSTRUCTION CONDITIONS AND ARE PART OF THE CONSTRUCTION DOCUMENTS. SPECIFIC INFORMATION PERTAINING TO THIS PROJECT HAS BEEN PROVIDED IN THE NOTES AND DETAILS. ANY CHANGES TO THESE DETAILS MAY SUPERSEDE AND/OR AMEND THE DETAILS ATTACHED.

DATE: \_\_\_\_\_ REVISION: \_\_\_\_\_ BY: \_\_\_\_\_

**Wellisch Architects LLC, AIA**  
1000 SPRINGFIELD AVE. SUITE 200 (909) 544-7900  
MOUNTAIN VIEW, NJ 07092 Email: info@wellisch.com

PROJECT: TYP. SECTIONS AND DETAILS  
FOUNDATION WALLS, CONCRETE SLAB DETAILS  
MASONRY FIREPLACE DETAILS

DRAWING/S: \_\_\_\_\_ DATE: \_\_\_\_\_ SCALE: \_\_\_\_\_  
CONTR. TYPE: P-2 DRAWN BY: D.V.  
CORR. TYPE: P-2 APPROVER: T.A.M.  
W.P.A. WELLISCH ARCH. SHEET NO. D2  
P.L.S. IN HAND WITH ALL OTHER WORK.



**THE DETAILS LISTED HEREIN ILLUSTRATE TYPICAL GENERAL CONSTRUCTION CONDITIONS FOR THIS PROJECT. FOR MORE INFORMATION, CONTACT THE ARCHITECT OR REFER TO THE DOCUMENTS. SPECIFIC INFORMATION PERTAINING TO THIS PROJECT HAS BEEN INCORPORATED ON THE PLAN DRAWINGS AND SHOULD BE REFERRED TO AND/OR AMONG THE DETAILS ATTACHED.**

**Wellisch Architects LLC, AIA**  
100 SPRINGFIELD AVENUE, SUITE 200 | 60907-0647-7900  
MOUNTAIN VIEW, IL 61052 | P: 630.262.8800 | www.wellisch.com

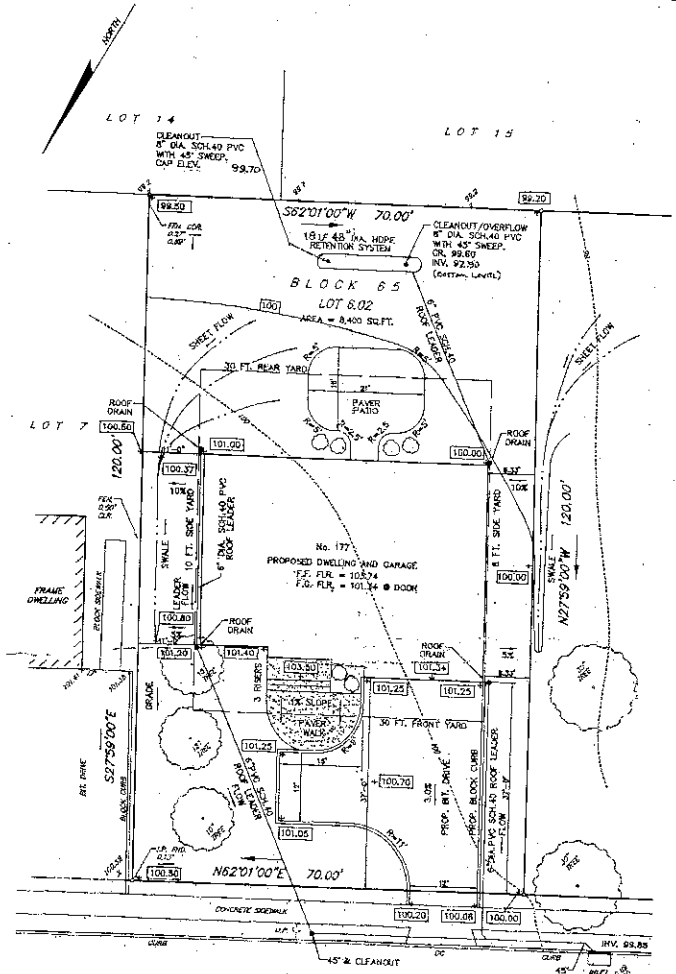
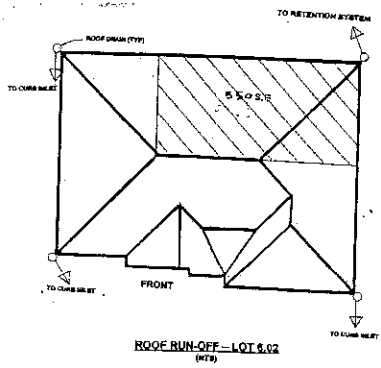
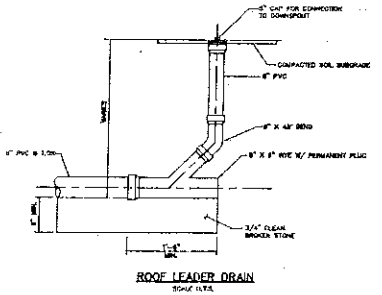
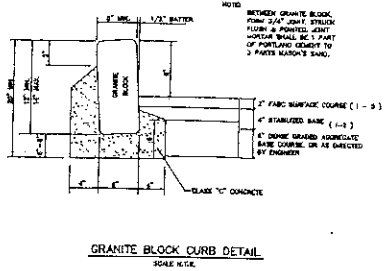
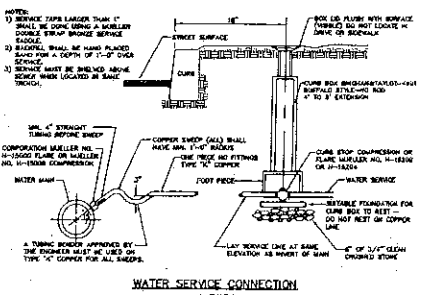
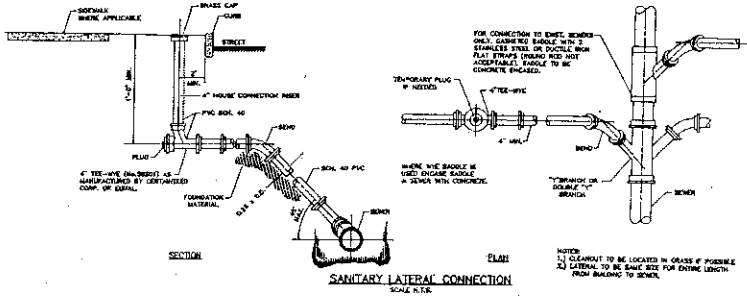
**TYP. SECTIONS AND DETAILS**  
FRAMING DETAILS, PRE-FAB. FIREPLACE, RADON VENTILATION

DATE: 08/15/2024  
REVISIONS:  
DRAWN BY: D.L.W.  
APPROVED: T.L.W.  
SHEET NO.: D3  
TOTAL SHEETS: 106  
SCALE: 1/2"=1'-0"









GROVE AVENUE 2  
ENG'S COMMENTS FILE # 4242771  
02/10/07 80  
11-1-06-07 file

REV. NO.	DESCRIPTION	DATE	BY

PREPARED FOR  
**BLOCK 65**  
177 GROVE AVENUE  
TOWNSHIP OF VERONA  
ESSEX COUNTY NEW JERSEY

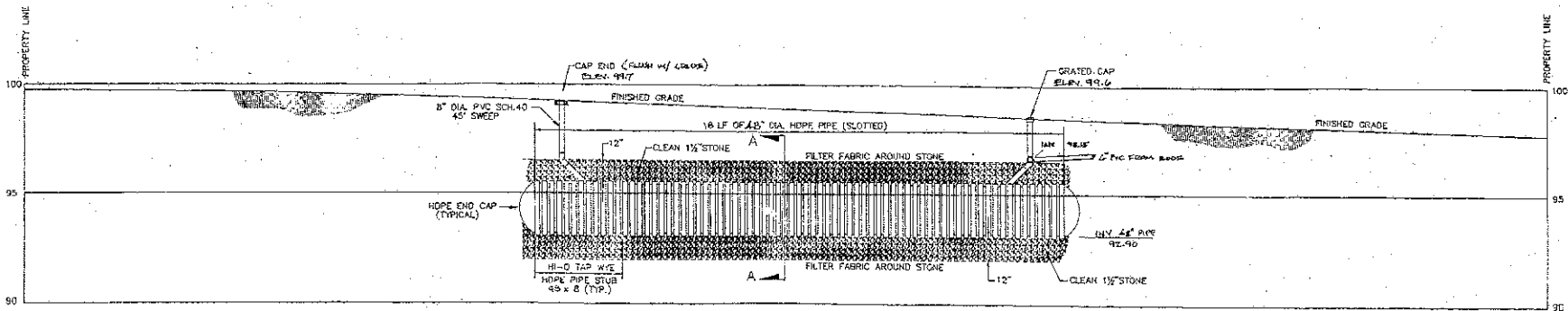
**GRADING & DRAINAGE PLAN**

**McCUMSEY, LLC**  
ENGINEERING - SURVEYING - PLANNING - INSPECTION  
30 DEPOT STREET  
VERONA, NJ 07093  
NO. 002 APPROVED - STATE BOARD

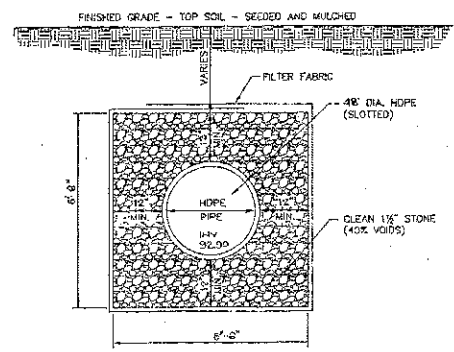
Developed by: JRM  
Drafted by: MOC  
Checked by: JRM  
Project No.: 06  
Scale: 1" = 30'  
Sheet 1 of 3

**JAMES R. McCUMSEY - P.E., P.L.S.**  
ENGINEER, L.C. No. 17748  
REGISTERED PROFESSIONAL LAND SURVEYOR, L.C. No. 1268 DATE: 04/07/06

CAUTION: IF THIS DOCUMENT DOES NOT CARRY A RAISED IMPRESSION SEAL OF THE UNDERSIGNED PROFESSIONAL, IT IS NOT AN AUTHORIZED ORIGINAL DOCUMENT.



PROFILE  
RETENTION SYSTEM  
(100 YR STORM CAPACITY)  
(NOT TO SCALE)



SECTION A-A  
(NOT TO SCALE)

REV. NO.	DESCRIPTION	DATE	BY
2	ENG. COMMENTS	02-10-07	JK
1	PIPE LAYOUT	02-10-06	JK

PREPARED FOR  
LOT 6.02, BLOCK 65  
177 GROVE AVENUE  
TOWNSHIP OF VERONA  
ESSEX COUNTY, NEW JERSEY

**GRADING & DRAINAGE PLAN**

**MCCUMSEY, LLC**  
ENGINEERING • SURVEYING • PLANNING • INSPECTION  
30 DEPOT STREET  
VERONA, NEW JERSEY  
92 DAYS BEFORE PROJECT START

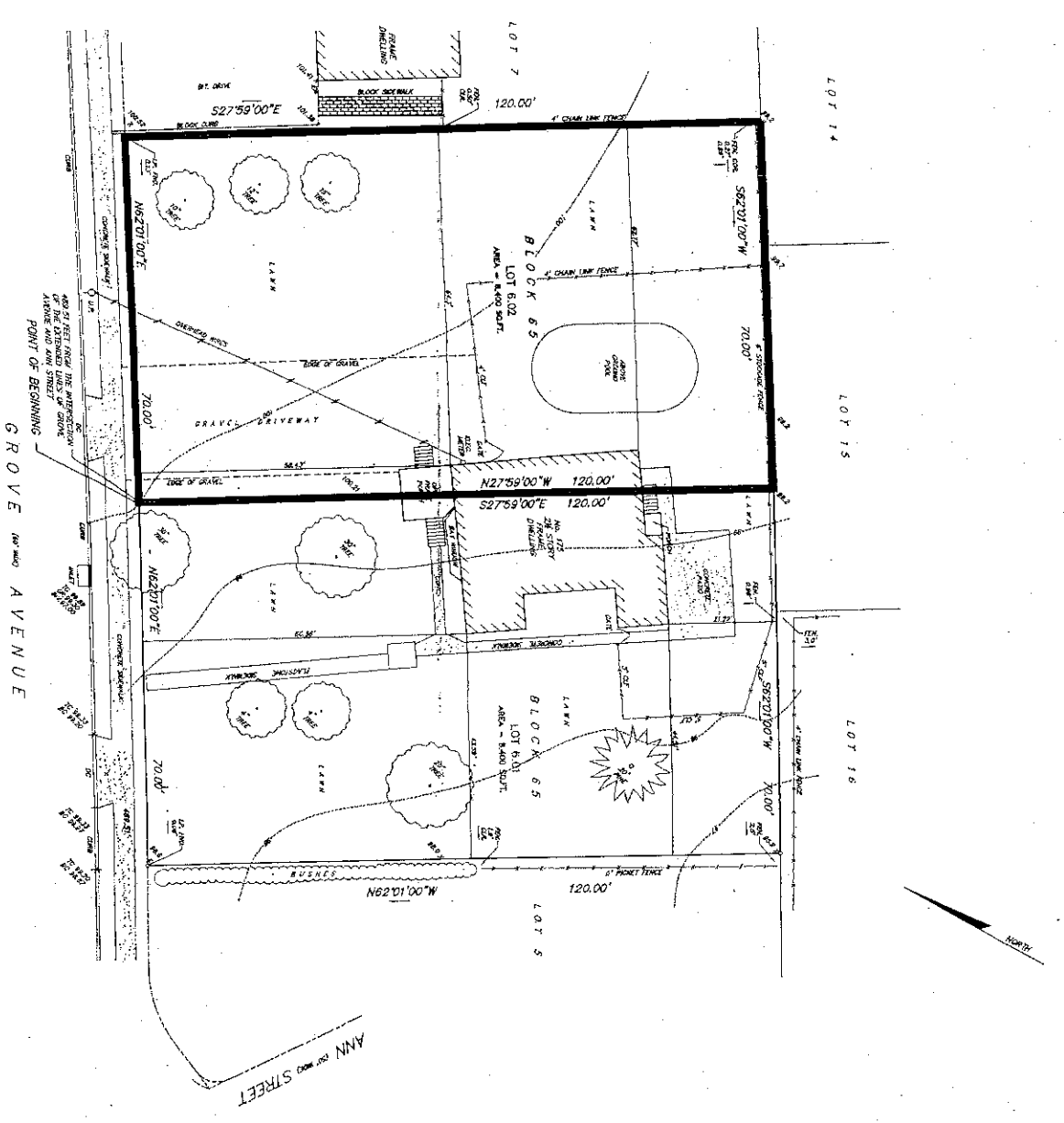
Design: JKW  
Draftsmen: MGC  
Checked By: JKW  
Project No.: 508

*James R. McCumsey*  
**JAMES R. MCCUMSEY - P.E., P.L.S.**  
P.L.S. PROFESSIONAL ENGINEER, LICENSE NO. 12794  
P.L.S. PROFESSIONAL LAND SURVEYOR, LICENSE NO. 11789

Scale: 1" = 10'  
Sheet 2 of 3

CAUTION: IF THIS DOCUMENT DOES NOT CONTAIN A NOTED IMPRESSION SEAL OF THE UNDERSIGNED PROFESSIONAL, IT IS NOT AN AUTHORIZED ORIGINAL DOCUMENT.

SHADED AREA IS PROJECT SITE



NOTICE: I, JAMES R. JAMES, a duly qualified and licensed Professional Land Surveyor in the State of New Jersey, do hereby certify that the above described plat was prepared by me or under my direct supervision and that I am a duly qualified and licensed Professional Land Surveyor in the State of New Jersey. My commission expires on 03/31/2025. My registration number is 123456789.

NO. 101	PREPARED FOR	DATE	BY
	LOT 602 BLOCK 65		
	TOWNSHIP OF MORRIS		
	ESSEX COUNTY, NEW JERSEY		
<b>BOUNDARY &amp; TOPOGRAPHIC SURVEY</b>			
<b>McCLAINSEY LLC</b> COMMERCIAL SURVEYING & PLANNING CORPORATION 1000 ROUTE 100 MORRIS TOWNSHIP, NEW JERSEY 07960		Preparer: JRM Checked By: JRM Printed: 11/11/2024 Sheet 1 of 1	

**NOTICE:** THIS SURVEY WAS CONDUCTED IN ACCORDANCE WITH THE RULES AND REGULATIONS OF THE BOARD OF SURVEYING AND PLANNING, STATE OF NEW JERSEY. THE SURVEYOR'S RESPONSIBILITY IS TO PROVIDE AN ACCURATE REPRESENTATION OF THE FACTS AS FOUND IN THE FIELD. THIS SURVEY DOES NOT GUARANTEE THE ACCURACY OF ANY INFORMATION PROVIDED BY ANY OTHER PARTY. THE SURVEYOR'S LIABILITY IS LIMITED TO THE PROFESSIONAL SERVICES PROVIDED. THIS SURVEY IS NOT TO BE USED FOR ANY OTHER PURPOSE WITHOUT THE WRITTEN CONSENT OF THE SURVEYOR.

**LEGEND OF SYMBOLS:**

	1/4\"/>		1/2\"/>
	3/4\"/>		1\"/>
	1 1/4\"/>		1 1/2\"/>
	2\"/>		3\"/>
	4\"/>		6\"/>
	8\"/>		12\"/>
	18\"/>		24\"/>
	36\"/>		48\"/>
	60\"/>		72\"/>
	90\"/>		108\"/>
	144\"/>		180\"/>
	216\"/>		270\"/>
	360\"/>		450\"/>
	540\"/>		630\"/>
	720\"/>		810\"/>
	900\"/>		990\"/>
	1080\"/>		1170\"/>
	1260\"/>		1350\"/>
	1440\"/>		1530\"/>
	1620\"/>		1710\"/>
	1800\"/>		1890\"/>
	1980\"/>		2070\"/>
	2160\"/>		2250\"/>
	2340\"/>		2430\"/>
	2520\"/>		2610\"/>
	2700\"/>		2790\"/>
	2880\"/>		2970\"/>
	3060\"/>		3150\"/>
	3240\"/>		3330\"/>
	3420\"/>		3510\"/>
	3600\"/>		3690\"/>
	3780\"/>		3870\"/>
	3960\"/>		4050\"/>
	4140\"/>		4230\"/>
	4320\"/>		4310\"/>
	4400\"/>		4390\"/>
	4480\"/>		4470\"/>
	4560\"/>		4550\"/>
	4640\"/>		4630\"/>
	4720\"/>		4610\"/>
	4800\"/>		4590\"/>
	4880\"/>		4570\"/>
	4960\"/>		4550\"/>
	5040\"/>		4530\"/>
	5120\"/>		4510\"/>
	5200\"/>		4490\"/>
	5280\"/>		4470\"/>
	5360\"/>		4450\"/>
	5440\"/>		4430\"/>
	5520\"/>		4410\"/>
	5600\"/>		4390\"/>
	5680\"/>		4370\"/>
	5760\"/>		4350\"/>
	5840\"/>		4330\"/>
	5920\"/>		4310\"/>
	6000\"/>		4290\"/>
	6080\"/>		4270\"/>
	6160\"/>		4250\"/>
	6240\"/>		4230\"/>
	6320\"/>		4210\"/>
	6400\"/>		4190\"/>
	6480\"/>		4170\"/>
	6560\"/>		4150\"/>
	6640\"/>		4130\"/>
	6720\"/>		4110\"/>
	6800\"/>		4090\"/>
	6880\"/>		4070\"/>
	6960\"/>		4050\"/>
	7040\"/>		4030\"/>
	7120\"/>		4010\"/>
	7200\"/>		3990\"/>
	7280\"/>		3970\"/>
	7360\"/>		3950\"/>
	7440\"/>		3930\"/>
	7520\"/>		3910\"/>
	7600\"/>		3890\"/>
	7680\"/>		3870\"/>
	7760\"/>		3850\"/>
	7840\"/>		3830\"/>
	7920\"/>		3810\"/>
	8000\"/>		3790\"/>
	8080\"/>		3770\"/>
	8160\"/>		3750\"/>
	8240\"/>		3730\"/>
	8320\"/>		3710\"/>
	8400\"/>		3690\"/>
	8480\"/>		3670\"/>
	8560\"/>		3650\"/>
	8640\"/>		3630\"/>
	8720\"/>		3610\"/>
	8800\"/>		3590\"/>
	8880\"/>		3570\"/>
	8960\"/>		3550\"/>
	9040\"/>		3530\"/>
	9120\"/>		3510\"/>
	9200\"/>		3490\"/>
	9280\"/>		3470\"/>
	9360\"/>		3450\"/>
	9440\"/>		3430\"/>
	9520\"/>		3410\"/>
	9600\"/>		3390\"/>
	9680\"/>		3370\"/>
	9760\"/>		3350\"/>
	9840\"/>		3330\"/>
	9920\"/>		3310\"/>
	10000\"/>		3290\"/>